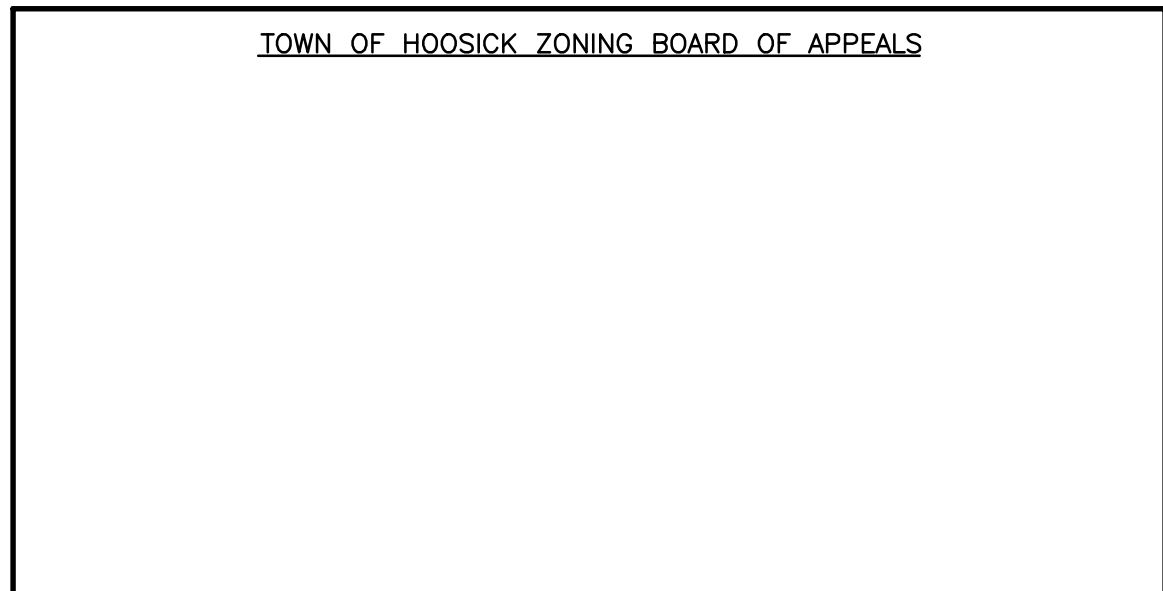


CIVIL PERMIT PLANS FOR WILSON HILL ROAD SOLAR ARRAY

5.0 MW AC

LOCATED AT

469 Wilson Hill Road
Hoosick, NY 12090



APPLICANT/PROJECT OWNER

WILSON HILL SOLAR, LLC
101 SUMMER STREET, 2ND FLOOR
BOSTON, MA 02110

CIVIL ENGINEER

THE ENVIRONMENTAL DESIGN PARTNERSHIP, LLP
900 ROUTE 146
CLIFTON PARK, NY 12065
(518) 371-7621

SURVEYOR

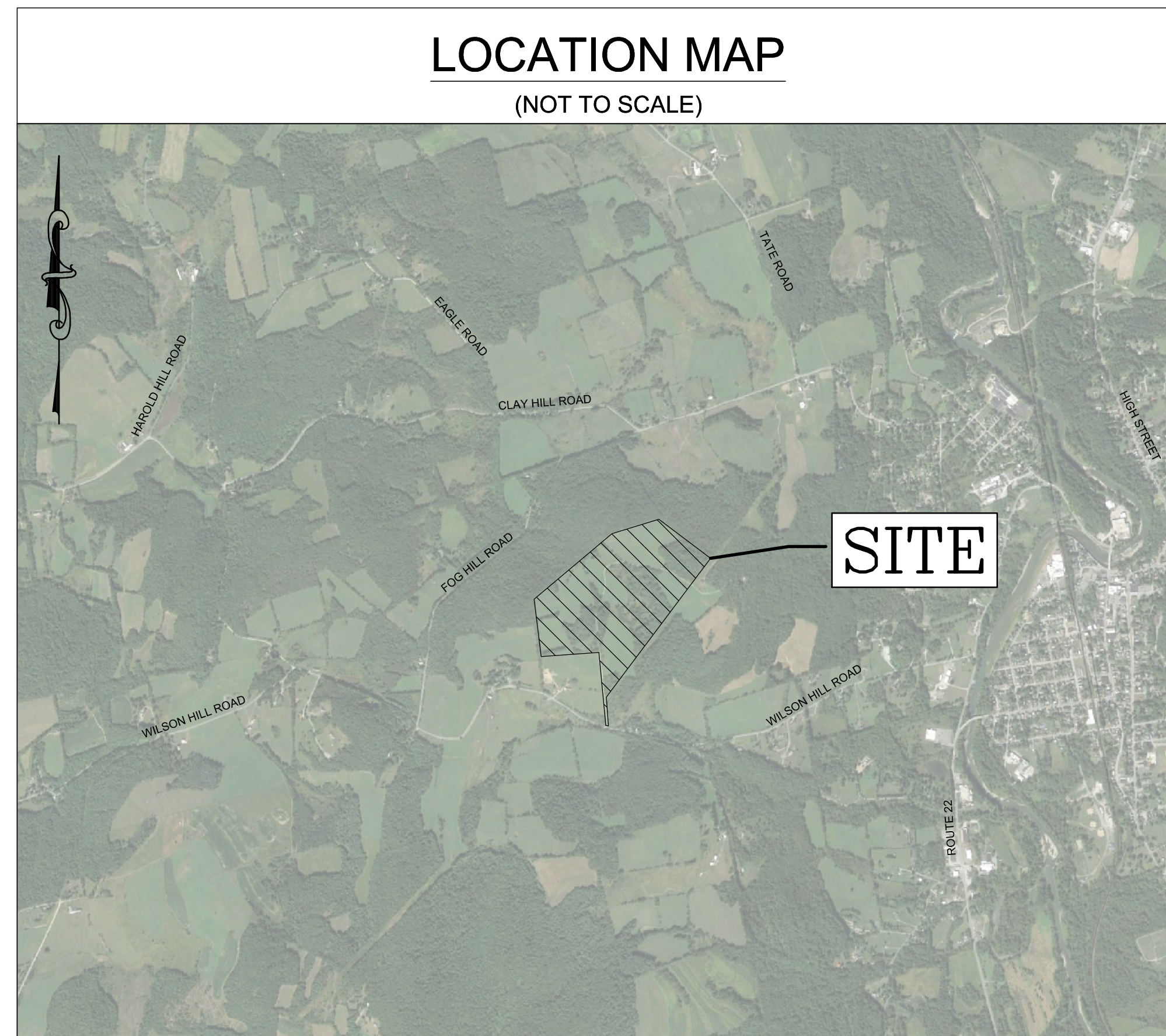
THE ENVIRONMENTAL DESIGN PARTNERSHIP, LLP
900 ROUTE 146
CLIFTON PARK, NY 12065
(518) 371-7621

SOLAR CONSULTANT

NEXAMP, INC.
101 SUMMER STREET, 2ND FLOOR
BOSTON, MA 02110
CONTACT: STACEY EMERICK
PHONE: 828-707-6514

LOCATION MAP

(NOT TO SCALE)



Sheet List Table

SHEET NUMBER	SHEET TITLE
C-100	COVER SHEET
2 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY MAP
C-201	REMOVALS AND TREE CLEARING PLAN
C-300	OVERALL LAYOUT AND MATERIALS PLAN
C-301	LAYOUT AND MATERIALS PLAN
C-302	LAYOUT AND MATERIALS PLAN
C-303	LAYOUT AND MATERIALS PLAN
C-400	OVERALL EROSION AND SEDIMENT CONTROL PLAN
C-401	EROSION AND SEDIMENT CONTROL PLAN
C-402	EROSION AND SEDIMENT CONTROL PLAN
C-403	EROSION AND SEDIMENT CONTROL PLAN
C-404	EROSION AND SEDIMENT CONTROL DETAILS
C-500	OVERALL DRAINAGE AND GRADING PLAN
C-501	DRAINAGE AND GRADING PLAN
C-502	DRAINAGE AND GRADING PLAN
C-503	DRAINAGE AND GRADING PLAN
C-505	ACCESS ROAD PROFILES
C-600	SITE DETAILS
C-601	SITE DETAILS
C-602	SITE DETAILS
C-700	PHASING PLAN
C-701	PHASING PLAN
L-100	LANDSCAPING AND BUFFER PLAN

SITE INFORMATION

PARCEL ZONING
AGRICULTURAL / RESIDENTIAL (AR)

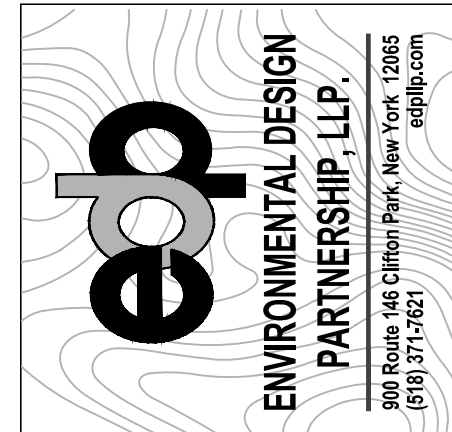
PROJECT DESCRIPTION
5.0 MW AC FIXED TILT PV SYSTEM

BENCHMARKS

BENCHMARKS:
CONTROL TO BE SET BY EDPLLP



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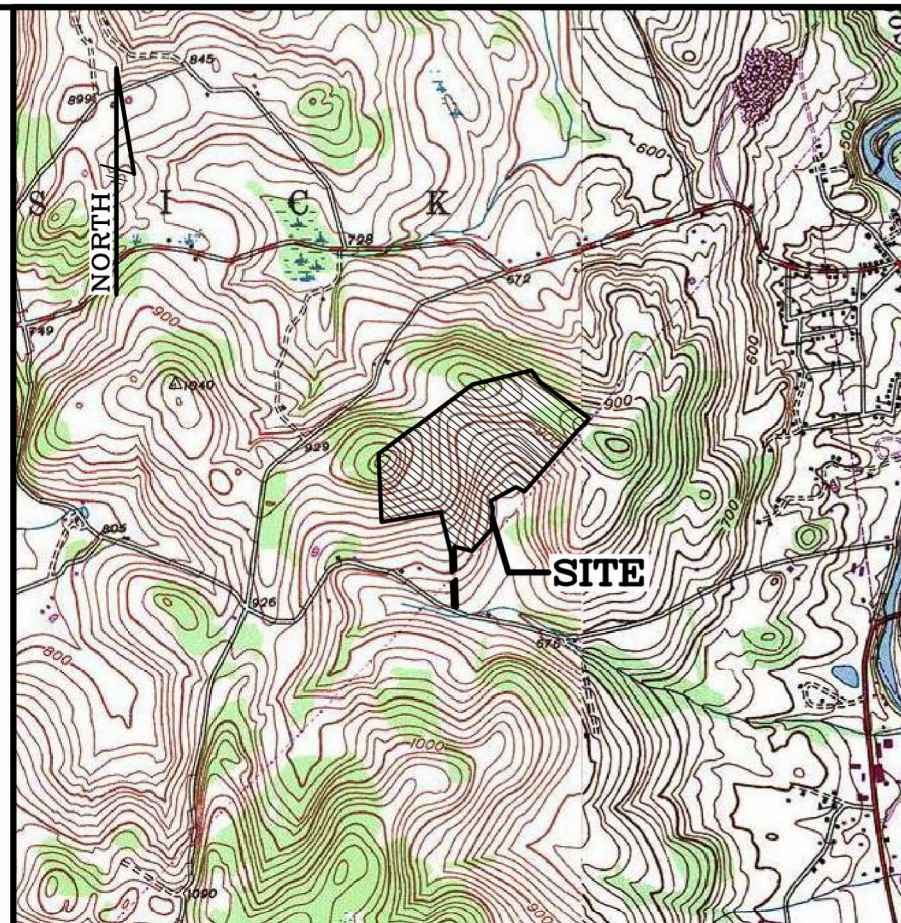
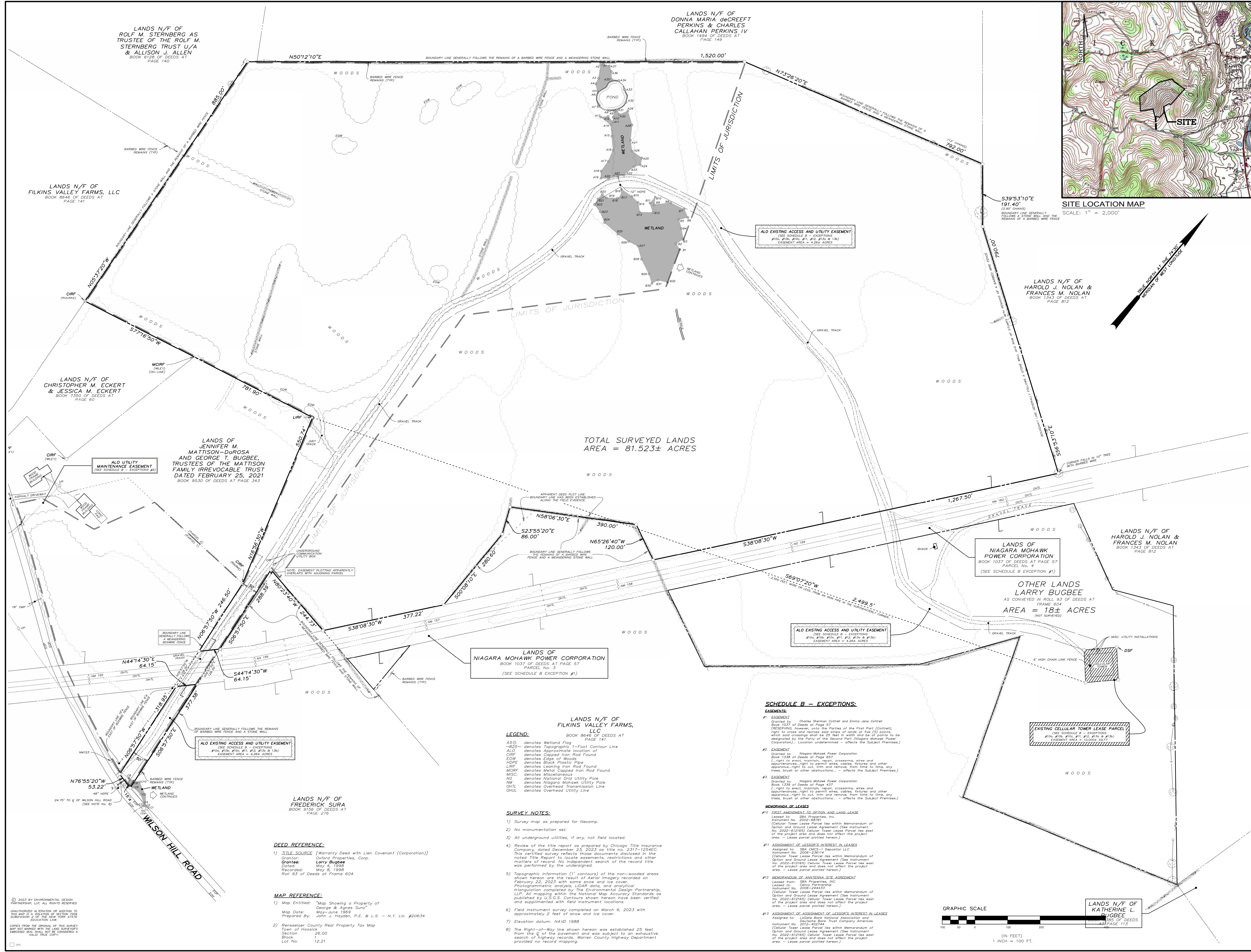


Project: **WILSON HILL SOLAR**
469 Wilson Hill Road
Hoosick Falls, NY 12090

Drawing Title: **COVER SHEET**
NOT FOR CONSTRUCTION
Scale: As Shown Approved by: STA
Drawn by: BMW

Dwg No: **C-100** Size: D Sheet Rev: **H**

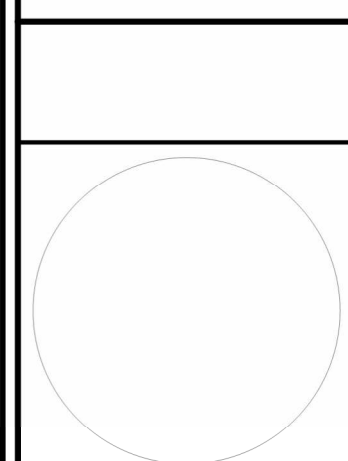
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**BOUNDARY AND TOPOGRAPHIC
 SURVEY OF A PORTION OF LANDS OF
 LARRY BUGBEE**
 ALONG WILSON HILL ROAD
 TOWN OF HOOSICK
 RENNELAER COUNTY, NEW YORK

OWNER	LARRY BUGBEE
PROJECT NUMBER	1303
DATE OF SURVEY	03/08/2023
DATE OF PLOTTING	03/14/2023
SCALE	1" = 100'

DATE	03/14/2023
BY	TIMOTHY J. McALONEN
CHECKED	PLS 50,471
PROJECT	1303



TIMOTHY J. McALONEN
 PLS 50,471
 LICENSED LAND SURVEYOR



SCALE:
 1" = 100'

DRAFT

BOUNDARY AND TOPOGRAPHIC SURVEY MAP

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DEED REFERENCE:
 1) TITLE SOURCE [Warranty Deed with Lien Covenant (Corporation)]
 Grantor: Oxford Properties, Corp.
 Grantee: Larry Bugbee
 Dated: May 4, 1998
 Recorded: May 8, 1998
 Roll 93 of Deeds at Frame 604

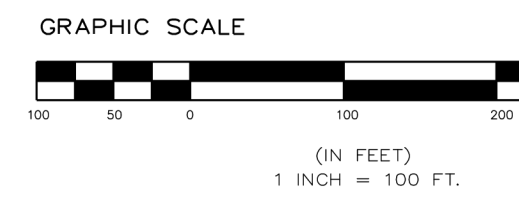
MAP REFERENCE:
 1) Map Entitled: "Map Showing a Property of George & Agnes Sura"
 Map Date: May-June 1969
 Prepared By: John J. Hayden, P.E. & L.S. - N.Y. Lic. #20634

2) Rensselaer County Real Property Tax Map
 Town of Hoosick
 Section 26.00
 Block
 Lot No. 12.21

LEGEND:
 A50 denotes Wetland Flag
 -825- denotes Topographic 1-Foot Contour Line
 ALD denotes Approximate location of
 CIRF denotes Capped Iron Rod Found
 EDW denotes Edge of Woods
 HDPE denotes High Density Polyethylene
 LIRF denotes Lined Iron Rod Found
 MCRF denotes Metal Capped Iron Rod Found
 MISC denotes Miscellaneous
 NG denotes National Grid Utility Pole
 NM denotes Niagara Mohawk Utility Pole
 OHTL denotes Overhead Transmission Line
 OHTL denotes Overhead Utility Line

SURVEY NOTES:
 1) Survey map as prepared for Nexamp.
 2) No monumentation set.
 3) All underground utilities, if any, not field located.
 4) Review of the title report as prepared by Chicago Title Insurance Company, dated December 23, 2023 as title no. 2317-125461C. This certified survey reflects those documents disclosed in the noted title report to locate easements, restrictions and other matters of record. No independent search of the record title was performed by the undersigned.
 5) Topographic information (1' contours) of the non-wooded areas shown hereon are the result of Aerial Imagery recorded on February 22, 2023 with some snow and ice cover. Photogrammetric analysis, LIDAR data, and analytical triangulation completed by The Environmental Design Partnership, L.P. All mapping within the National Map Accuracy Standards as published by U.S.C.S. Contours shown hereon have been verified and supplemented with field instrument locations.
 6) Field instrument survey completed on March 6, 2023 with approximately 2 feet of snow and ice cover.
 7) Elevation datum: NAVD 1988
 8) The Right-of-Way line shown hereon was established 25 feet from the E of the pavement and was subject to an exhaustive search of highway records. Warren County Highway Department provided no record mapping.

SCHEDULE B - EXCEPTIONS:
EASEMENTS:
 #1. EASEMENT
 Granted to: Charles Sherman Cottrell and Emma Jane Cottrell
 Book 1037 of Deeds at Page 57
 (REVENUE: towers, utility poles, poles of the First Part (Cottrell), right to cross and recess said strips of lands at five (5) points, which said crossings shall be 25 feet in width and be of points to be designated by the Party of the Second Part (Niagara Mohawk Power Corporation). Location undetermined - affects the Subject Premises.)
 #2. EASEMENT
 Granted to: Niagara Mohawk Power Corporation
 Book 1338 of Deeds at Page 627
 (right to erect, maintain, repair, crossarms, wires and other appurtenances; right to permit wires, cables, fixtures and other apparatus; right to cut, trim and remove, from time to time, any trees, brush or other obstructions... - affects the Subject Premises.)
 #3. EASEMENT
 Granted to: Niagara Mohawk Power Corporation
 Book 1339 of Deeds at Page 437
 (right to erect, maintain, repair, crossarms, wires and other appurtenances; right to permit wires, cables, fixtures and other apparatus; right to cut, trim and remove, from time to time, any trees, brush or other obstructions... - affects the Subject Premises.)
MEMORANDA OF LEASES:
 #10. FIRST ASSIGNMENT TO OPTION AND LAND LEASE
 Leased to: SDA Properties, Inc.
 Instrument No. 2022-812761
 (Cellular Tower Lease Parcel lies within Memorandum of Option and Ground Lease Agreement (See Instrument No. 2022-812762) Cellular Tower Lease Parcel lies east of the project area and does not affect the project area. - Lease parcel plotted hereon.)
 #11. ASSIGNMENT OF LESSOR'S INTEREST IN LEASES
 Assigned to: SDA Properties, Inc.
 Instrument No. 2022-812761
 (Cellular Tower Lease Parcel lies within Memorandum of Option and Ground Lease Agreement (See Instrument No. 2022-812762) Cellular Tower Lease Parcel lies east of the project area and does not affect the project area. - Lease parcel plotted hereon.)
 #12. MEMORANDUM OF ANTICIPATED SITE AGREEMENT
 Leased from: SDA Properties, Inc.
 Leased to: Celio Partners LLC
 (Cellular Tower Lease Parcel lies within Memorandum of Option and Ground Lease Agreement (See Instrument No. 2022-812762) Cellular Tower Lease Parcel lies east of the project area and does not affect the project area. - Lease parcel plotted hereon.)
 #13. ASSIGNMENT OF ASSIGNMENT OF LESSOR'S INTEREST IN LEASES
 Assigned to: LoSalle Bank National Association and LoSalle Bank Trust Company America
 Instrument No. 2012-402794
 (Cellular Tower Lease Parcel lies within Memorandum of Option and Ground Lease Agreement (See Instrument No. 2022-812762) Cellular Tower Lease Parcel lies east of the project area and does not affect the project area. - Lease parcel plotted hereon.)






LANDS N/F OF
 KATHERINE L.
 BUGBEE
 BOOK 1343 OF DEEDS AT
 PAGE 113

SITE REMOVAL AREAS

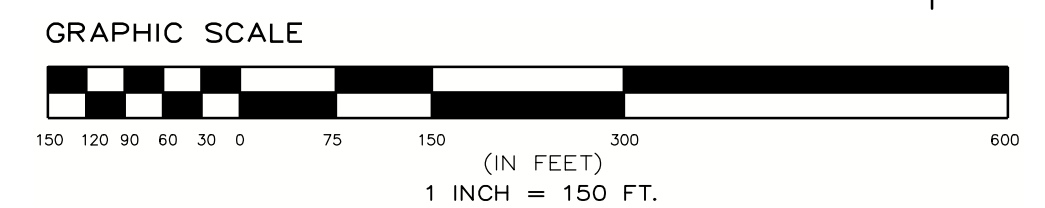
BRUSH & TREE CLEARING AND GRUBBING ±7.373 AC
TOTAL TREE CLEARING ±7.373 AC

REMOVALS LEGEND:

-  DENOTES BRUSH AND/OR TREE CLEARING AND GRUBBING AREA
-  DENOTES BRUSH AND/OR TREE CLEARING ONLY
-  DENOTES ACOE WETLAND AREA
- X** DENOTES ITEMS TO BE REMOVED AND DISPOSED OF OFFSITE

REMOVALS NOTE:

1. UNDERGROUND UTILITIES ARE SHOWN FROM FIELD LOCATION WHERE POSSIBLE AND FROM RECORD DATA WHERE FOUND. EXACT LOCATION OF UTILITIES MAY DIFFER FROM THE LOCATION SHOWN, AND ADDITIONAL UTILITIES MAY EXIST. VERIFY THE PRESENCE AND EXACT LOCATION OF ALL UTILITIES WITHIN THE CONTRACT LIMIT LINE AND/OR LIMITS OF DISTURBANCE PRIOR TO COMMENCING ANY EXCAVATION WORK. NOTIFY SITE ENGINEER IMMEDIATELY IF LOCATION CONFLICTS WITH LAYOUT.
2. RETURN ALL DISTURBED AREAS TO THEIR EXISTING COVER TYPES UPON CONSTRUCTION COMPLETION UNLESS OTHERWISE SPECIFIED.
3. INSTALL EROSION CONTROL MEASURES PRIOR TO ALL REMOVAL ACTIVITIES.
4. MAINTAIN EMERGENCY ACCESS TO SITE AT ALL TIMES.
5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL COORDINATE ALL WORK WITH UTILITY EASEMENT AREA WITH UTILITY OWNER.



nexamp
 101 Summer Street, Boston, MA 02110
 Tel: (617) 431-1440 Fax: (978) 416-2525 Web: nexamp.com

ep
ENVIRONMENTAL DESIGN PARTNERSHIP, LLP.
 900 Route 108, Clifton Park, New York 12065
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P.E. seal/Consultant





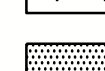
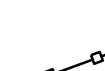

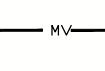



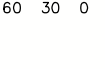

WILSON HILL SOLAR
 469 Wilson Hill Road
 Hoosick Falls, NY 12090

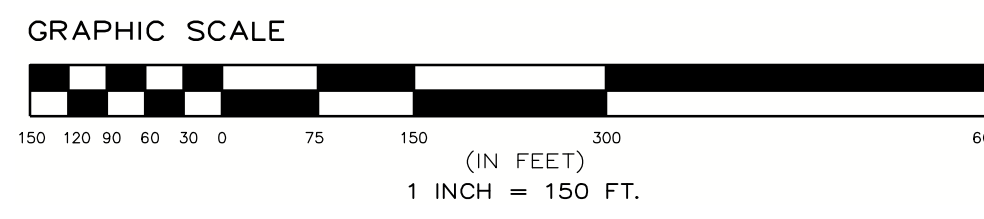
REMOVALS AND TREE CLEARING PLAN
NOT FOR CONSTRUCTION
 Scale: As Shown Approved by: STA
 Drawn by: BMW

Dwg No: **C-201** Size: **D** Sheet Rev: **H**

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LAYOUT AND MATERIALS PLAN LEGEND

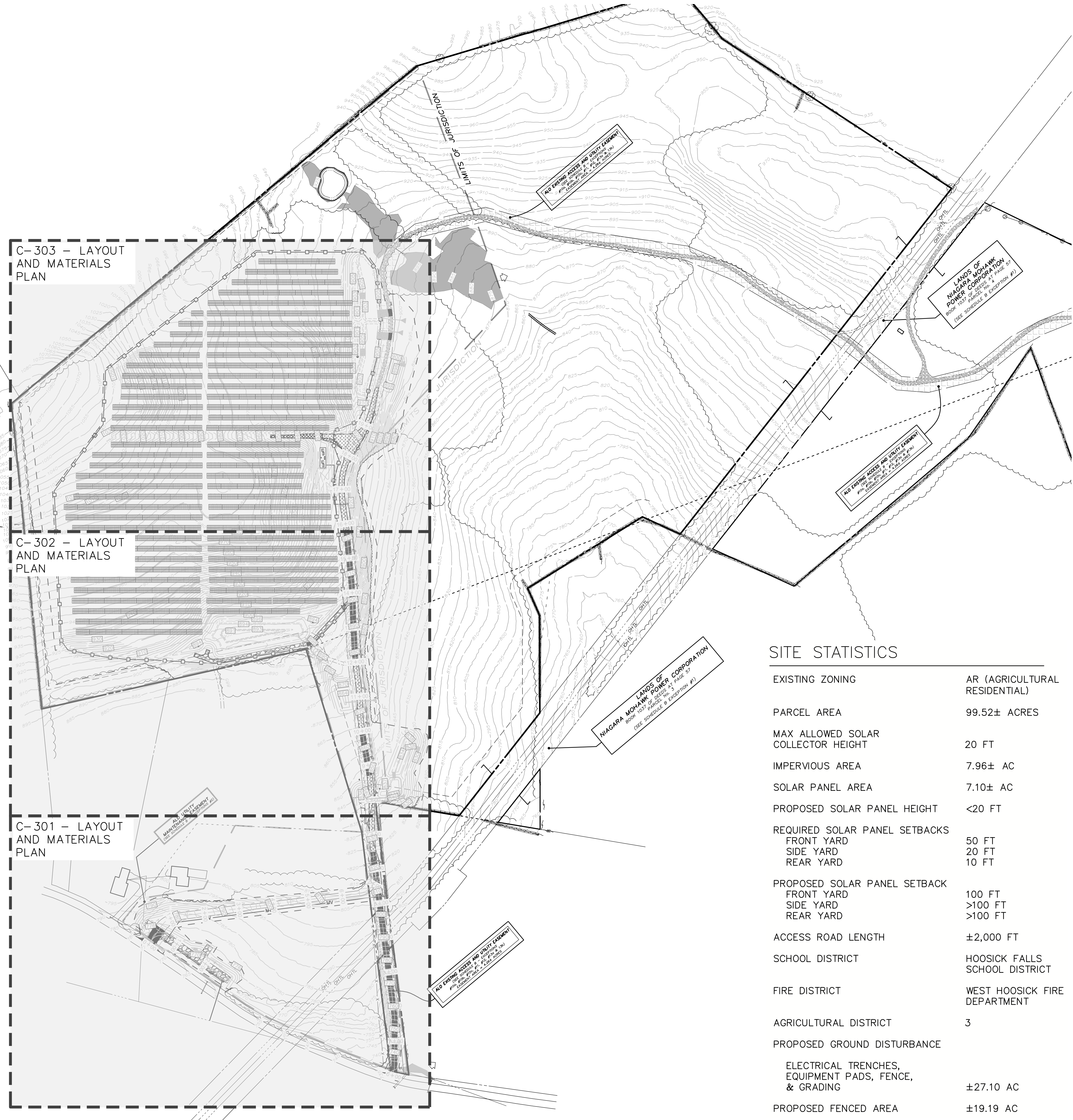
-  DENOTES EXISTING GRADE
-  DENOTES USACE WETLAND AREAS
-  DENOTES NYSDEC PERVIOUS ACCESS ROAD (2 C-602)
-  DENOTES TEMPORARY CONSTRUCTION ACCESS ROAD (2 C-600)
-  DENOTES IMPROVED IMPERVIOUS GRAVEL PORTIONS OF MAINTENANCE ACCESS ROAD (2 C-600)
-  DENOTES IMPROVED IMPERVIOUS PAVED PORTIONS OF MAINTENANCE ACCESS ROAD (4 C-602)
-  DENOTES FIXED KNOT FARM FENCE (3 C-600)
-  DENOTES SOLAR PANEL TRACKER (SEE ELECTRICAL PLANS FOR DETAILS) (6 C-601)
-  DENOTES MEDIUM VOLTAGE TRENCH (SEE ELECTRICAL PLANS FOR DETAILS) (10 C-601)
-  DENOTES PROPOSED CONTOUR
-  DENOTES PERMANENT OVERLAND FLOW DISPERSION DEVICE (5 C-601)
-  STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (2 C-601)



C-303 - LAYOUT AND MATERIALS PLAN

C-302 - LAYOUT AND MATERIALS PLAN

C-301 - LAYOUT AND MATERIALS PLAN




SITE STATISTICS

EXISTING ZONING	AR (AGRICULTURAL RESIDENTIAL)
PARCEL AREA	99.52± ACRES
MAX ALLOWED SOLAR COLLECTOR HEIGHT	20 FT
IMPERVIOUS AREA	7.96± AC
SOLAR PANEL AREA	7.10± AC
PROPOSED SOLAR PANEL HEIGHT	<20 FT
REQUIRED SOLAR PANEL SETBACKS	
FRONT YARD	50 FT
SIDE YARD	20 FT
REAR YARD	10 FT
PROPOSED SOLAR PANEL SETBACK	
FRONT YARD	100 FT
SIDE YARD	>100 FT
REAR YARD	>100 FT
ACCESS ROAD LENGTH	±2,000 FT
SCHOOL DISTRICT	HOOSICK FALLS SCHOOL DISTRICT
FIRE DISTRICT	WEST HOOSICK FIRE DEPARTMENT
AGRICULTURAL DISTRICT	3
PROPOSED GROUND DISTURBANCE	
ELECTRICAL TRENCHES, EQUIPMENT PADS, FENCE, & GRADING	±27.10 AC
PROPOSED FENCED AREA	±19.19 AC

NOTES:
1. PROPOSED UTILITY AND CUSTOMER POLE LOCATIONS ARE SUBJECT TO UTILITY APPROVAL AND MAY CHANGE. CONTRACTOR SHALL VERIFY FINAL POLE LOCATIONS WITH THE OWNER PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION.

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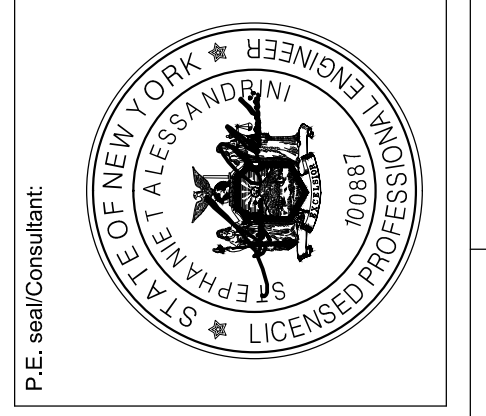


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WILSON HILL SOLAR

469 Wilson Hill Road
Hoosick Falls, NY 12090

OVERALL LAYOUT AND MATERIALS PLAN

NOT FOR CONSTRUCTION







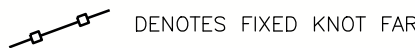
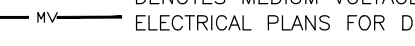






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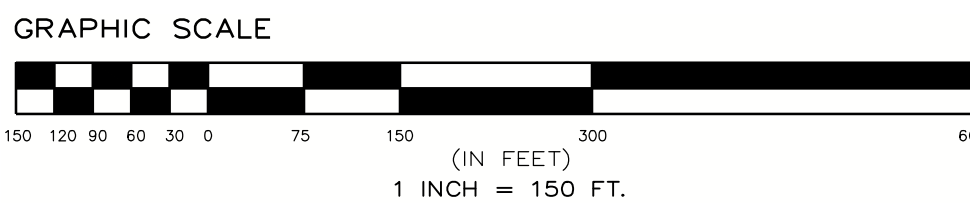
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Dwg No: C-300 H
Size: D
Sheet Rev: H

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EROSION, LAYOUT, AND MATERIALS PLAN LEGEND

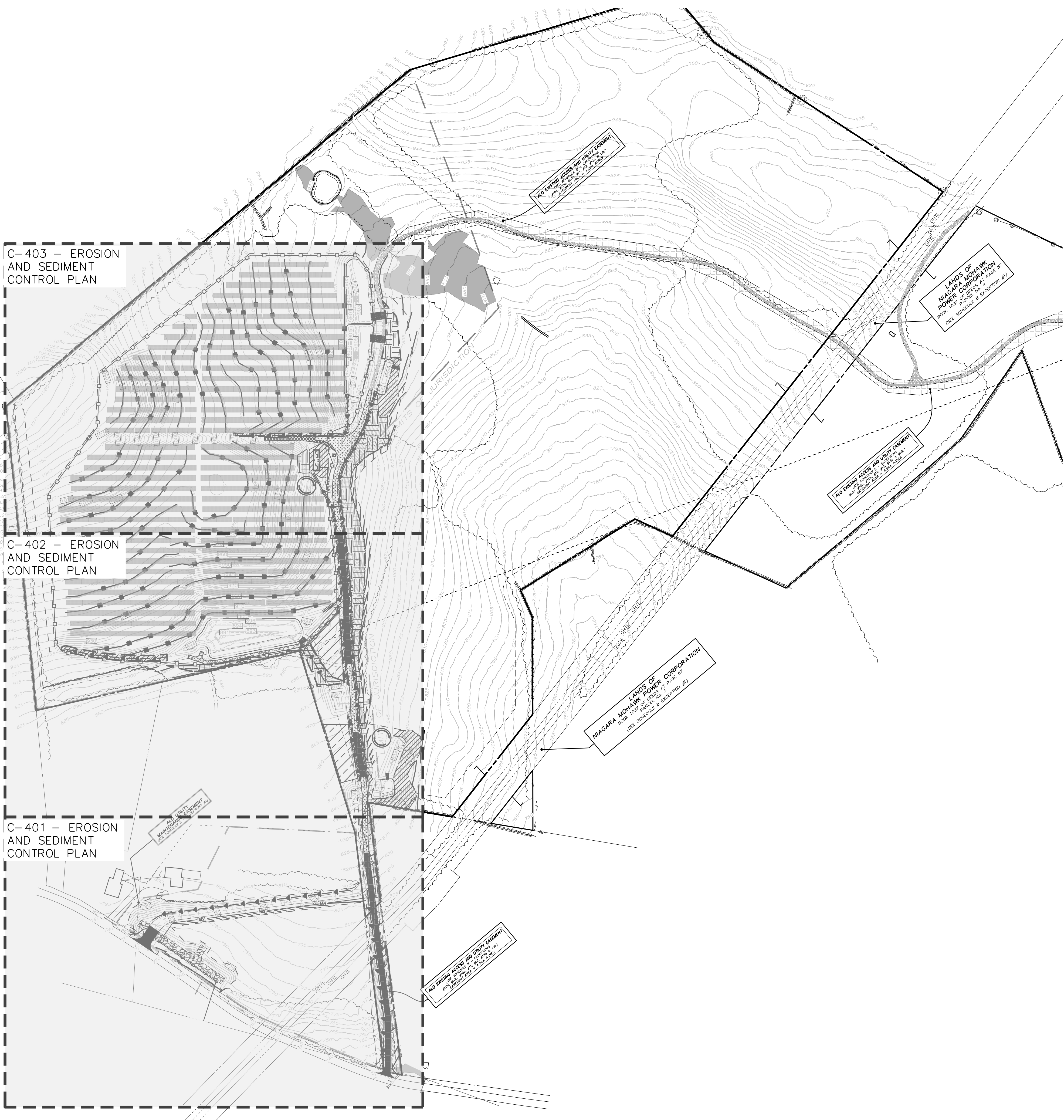
-  DENOTES EXISTING GRADE
-  DENOTES USAGE WETLAND AREAS
-  DENOTES TEMPORARY CONSTRUCTION ACCESS ROAD (2 C-600)
-  DENOTES IMPROVED IMPERVIOUS GRAVEL PORTIONS OF MAINTENANCE ACCESS ROAD (2 C-600)
-  DENOTES TURF REINFORCEMENT MATTING
-  DENOTES TEMPORARY EROSION CONTROL BLANKET (2 C-404)
-  DENOTES FIXED KNOT FARM FENCE (3 C-600)
-  DENOTES MEDIUM VOLTAGE TRENCH (SEE ELECTRICAL PLANS FOR DETAILS) (6 C-601)
-  DENOTES PROPOSED CONTOUR
-  DENOTES PERMANENT OVERLAND FLOW DISPERSION DEVICE (10 C-601)
-  DENOTES PROPOSED 12" COMPOST FILTER SOCK (7 C-404, 5 C-601)
-  DENOTES SWALE WITH CHECK DAM (9 C-404, 2 C-601)
-  STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (2 C-601)
-  DENOTES IMPROVED IMPERVIOUS PAVED PORTIONS OF MAINTENANCE ACCESS ROAD (4 C-602)



C-403 - EROSION AND SEDIMENT CONTROL PLAN

C-402 - EROSION AND SEDIMENT CONTROL PLAN

C-401 - EROSION AND SEDIMENT CONTROL PLAN

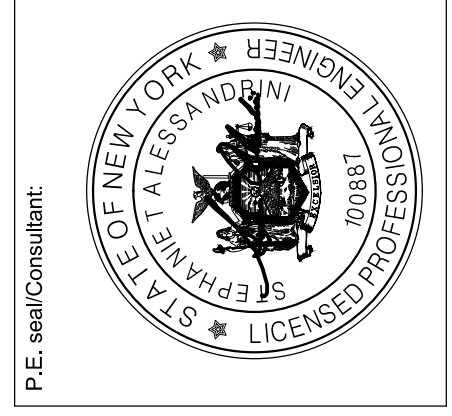


- NOTES:**
- ALL AREAS TO BE REVEGETATED SHALL HAVE A MINIMUM OF FOUR INCHES OF TOPSOIL.
 - AREAS USED FOR PARKING DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS INCLUDING, BUT NOT LIMITED TO, DECOMPACTION, REGRADING, LOAMING, AND SEEDING. IN NO CASE SHALL PARKING AREAS, LAYDOWN AREAS, CONSTRUCTION TRAILERS, AND PORTABLE TOILETS BE LOCATED WITHIN A WETLAND RESOURCE AREA AND/OR ANY BUFFER ZONES.
 - WETLANDS NEAR THE SOLAR ARRAY SHALL BE PROTECTED WITH FILTREXX SILT/SOXX OR SILT FENCE. EROSION AND SEDIMENT CONTROL FEATURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SOIL DISTURBING ACTIVITIES.
 - AREAS DESIGNATED FOR CUTTING SHALL BE CUT, ONLY. NO GRUBBING OR STRIPPING OF TOPSOIL IS NECESSARY, EXCEPT FOR THOSE AREAS SHOWN ON THE SITE PLANS.
 - PERMANENT STABILIZATION SHALL BE ESTABLISHED AS SOON AS FEASIBLE GIVEN THE GROWING SEASON.
 - FOR ACCESS DURING CONSTRUCTION, CONTRACTOR SHALL UTILIZE A TEMPORARY, IMPERVIOUS ACCESS ROAD ACCORDING TO THE DETAIL PROVIDED ON SHEET C-500. ONCE CONSTRUCTION HAS BEEN COMPLETED, THE TEMPORARY, IMPERVIOUS ACCESS ROAD SHALL BE REMOVED. THE PERMANENT PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION. SEE PERVIOUS ACCESS ROAD DETAIL FOR ADDITIONAL DETAILS ON CONSTRUCTION.
 - FILTER SOCK CHECK DAMS, STONE CHECK DAMS, OR EQUAL ARE RECOMMENDED TO BE USED WITHIN SWALES PRIOR TO THE ESTABLISHMENT OF VEGETATION, WHERE VELOCITIES OF THE 2 YEAR, 24 HOUR STORM EXCEED 4 FEET PER SECOND, AND WITHIN SWALES WHERE EROSION IS PRESENT. ALTERNATIVE EROSION AND SEDIMENT CONTROL PRACTICES MAY ALSO BE USED WITHIN SWALES (EROSION CONTROL BLANKETS, RIP RAP LINING, ETC.) IF APPROVED BY OWNER.
 - COMPOST FILTER SOCKS SHALL BE PLACED UP-GRADE FROM OVERLAND FLOW DISPERSION DEVICES AT INTERVALS OF 40-50 FT.

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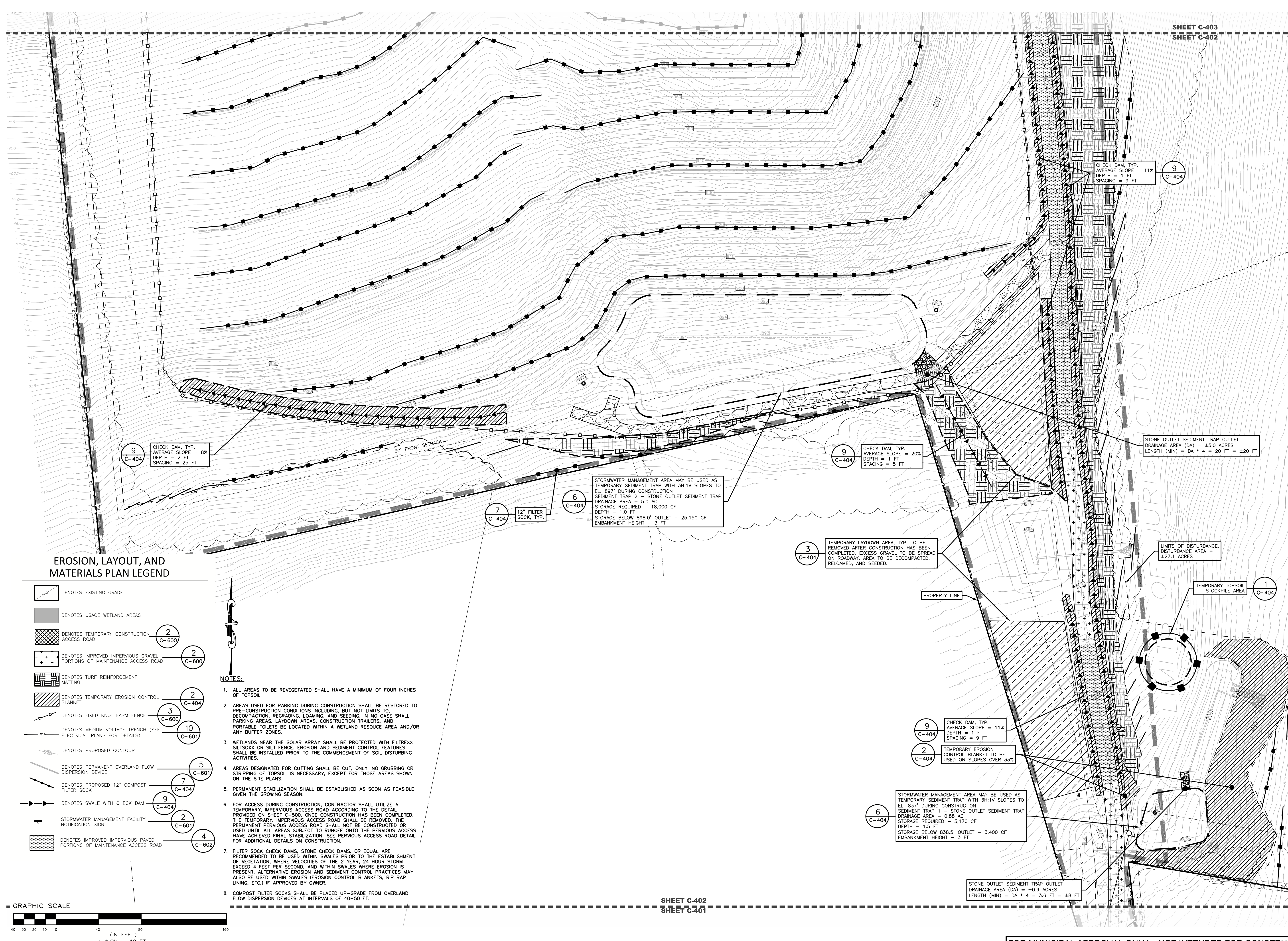
WILSON HILL SOLAR
469 Wilson Hill Road
Hoosick Falls, NY 12090

OVERALL EROSION AND SEDIMENT CONTROL PLAN
NOT FOR CONSTRUCTION
Scale: As Shown Approved by: STA
Drawn by: BMW

Dwg No: C-400 H
Sheet Rev: H

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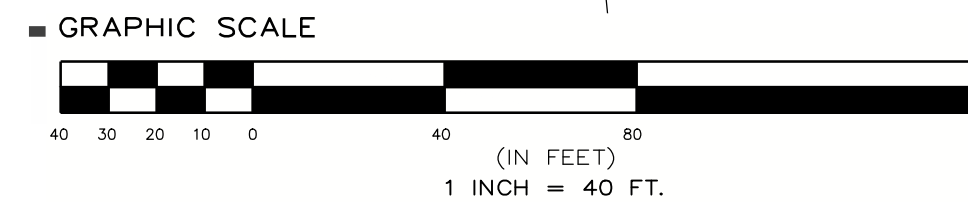


EROSION, LAYOUT, AND MATERIALS PLAN LEGEND

- DENOTES EXISTING GRADE
- DENOTES USACE WETLAND AREAS
- DENOTES TEMPORARY CONSTRUCTION ACCESS ROAD
- DENOTES IMPROVED IMPERVIOUS GRAVEL PORTIONS OF MAINTENANCE ACCESS ROAD
- DENOTES TURF REINFORCEMENT MATTING
- DENOTES TEMPORARY EROSION CONTROL BLANKET
- DENOTES FIXED KNOT FARM FENCE
- DENOTES MEDIUM VOLTAGE TRENCH (SEE ELECTRICAL PLANS FOR DETAILS)
- DENOTES PROPOSED CONTOUR
- DENOTES PERMANENT OVERLAND FLOW DISPERSION DEVICE
- DENOTES PROPOSED 12" COMPOST FILTER SOCK
- DENOTES SWALE WITH CHECK DAM
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN
- DENOTES IMPROVED IMPERVIOUS PAVED PORTIONS OF MAINTENANCE ACCESS ROAD

NOTES:

1. ALL AREAS TO BE REVEGETATED SHALL HAVE A MINIMUM OF FOUR INCHES OF TOPSOIL.
2. AREAS USED FOR PARKING DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS INCLUDING, BUT NOT LIMITED TO, DECOMPACTION, REGRADING, LOAMING, AND SEEDING. IN NO CASE SHALL PARKING AREAS, LAYDOWN AREAS, CONSTRUCTION TRAILERS, AND PORTABLE TOILETS BE LOCATED WITHIN A WETLAND RESOURCE AREA AND/OR ANY BUFFER ZONES.
3. WETLANDS NEAR THE SOLAR ARRAY SHALL BE PROTECTED WITH FILTERXX SILT/SOXX OR SILT FENCE. EROSION AND SEDIMENT CONTROL FEATURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SOIL DISTURBING ACTIVITIES.
4. AREAS DESIGNATED FOR CUTTING SHALL BE CUT, ONLY. NO GRUBBING OR STRIPPING OF TOPSOIL IS NECESSARY, EXCEPT FOR THOSE AREAS SHOWN ON THE SITE PLANS.
5. PERMANENT STABILIZATION SHALL BE ESTABLISHED AS SOON AS FEASIBLE GIVEN THE GROWING SEASON.
6. FOR ACCESS DURING CONSTRUCTION, CONTRACTOR SHALL UTILIZE A TEMPORARY IMPERVIOUS ACCESS ROAD ACCORDING TO THE DETAIL PROVIDED ON SHEET C-500. ONCE CONSTRUCTION HAS BEEN COMPLETED, THE TEMPORARY IMPERVIOUS ACCESS ROAD SHALL BE REMOVED. THE PERMANENT PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION. SEE PERVIOUS ACCESS ROAD DETAIL FOR ADDITIONAL DETAILS ON CONSTRUCTION.
7. FILTER SOCK CHECK DAMS, STONE CHECK DAMS, OR EQUAL ARE RECOMMENDED TO BE USED WITHIN SWALES PRIOR TO THE ESTABLISHMENT OF VEGETATION. WHERE VELOCITIES OF THE 2 YEAR, 24 HOUR STORM EXCEED 4 FEET PER SECOND, AND WITHIN SWALES WHERE EROSION IS PRESENT, ALTERNATIVE EROSION AND SEDIMENT CONTROL PRACTICES MAY ALSO BE USED WITHIN SWALES (EROSION CONTROL BLANKETS, RIP RAP LINING, ETC.) IF APPROVED BY OWNER.
8. COMPOST FILTER SOCKS SHALL BE PLACED UP-GRADE FROM OVERLAND FLOW DISPERSION DEVICES AT INTERVALS OF 40-50 FT.

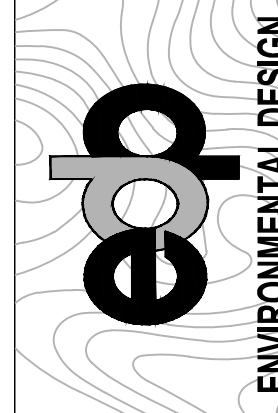


SHEET C-402
SHEET C-401

SHEET C-403
SHEET C-402



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WILSON HILL SOLAR
469 Wilson Hill Road
Hoosick Falls, NY 12090

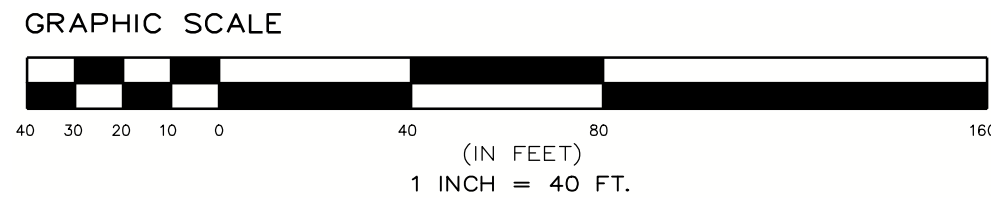
EROSION AND SEDIMENT CONTROL PLAN
NOT FOR CONSTRUCTION
Scale: As Shown Approved by: STA
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Dwg No: C-402 H

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EROSION, LAYOUT, AND MATERIALS PLAN LEGEND

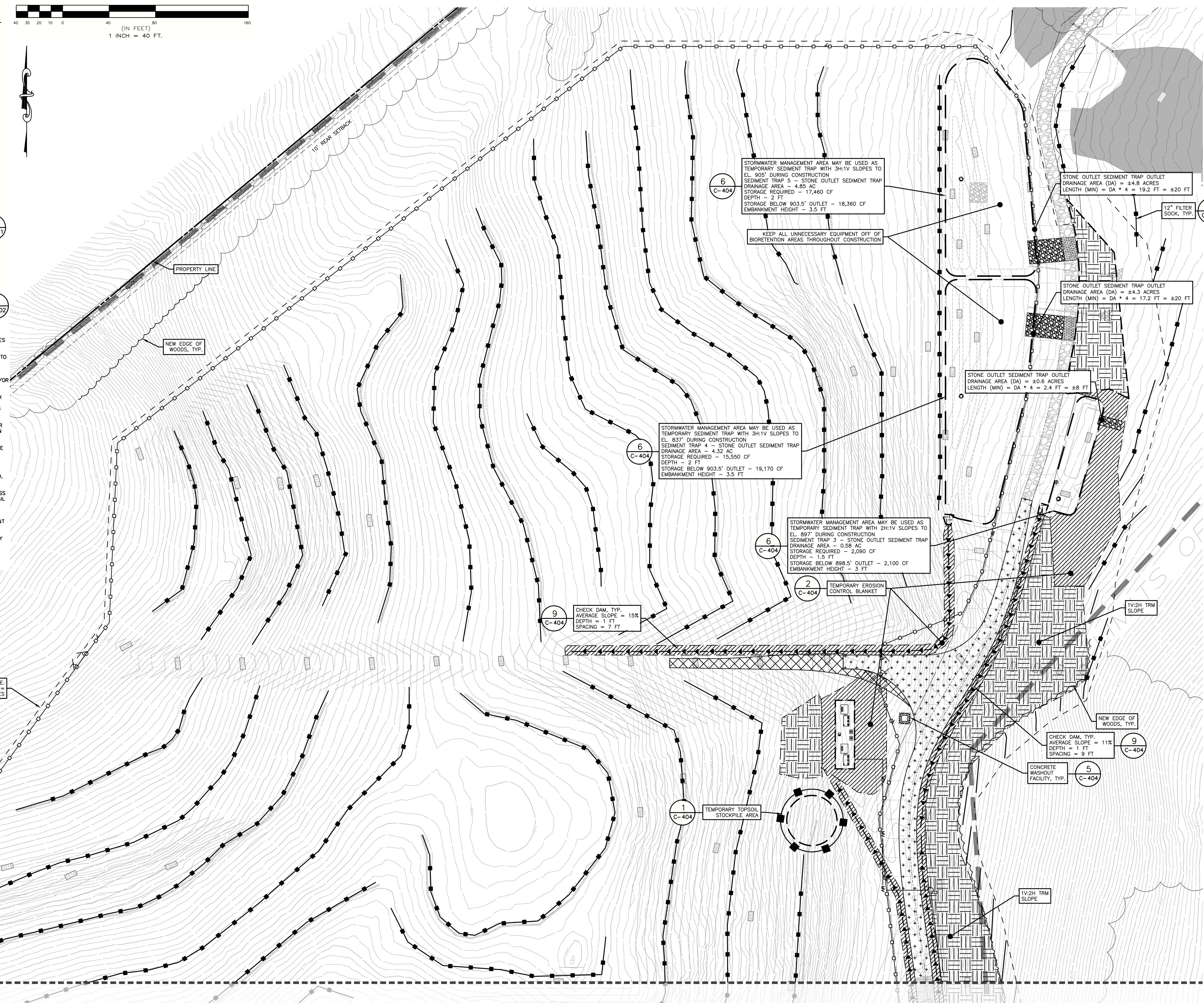
- DENOTES EXISTING GRADE
- DENOTES USACE WETLAND AREAS
- DENOTES TEMPORARY CONSTRUCTION ACCESS ROAD
- DENOTES IMPROVED IMPERVIOUS GRAVEL PORTIONS OF MAINTENANCE ACCESS ROAD
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LIMITS OF DISTURBANCE, DISTURBANCE AREA = ±27.1 ACRES



SHEET C-403
SHEET C-402

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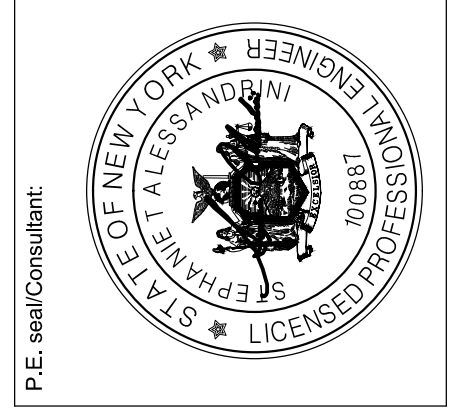
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WILSON HILL SOLAR

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EROSION AND SEDIMENT CONTROL PLAN

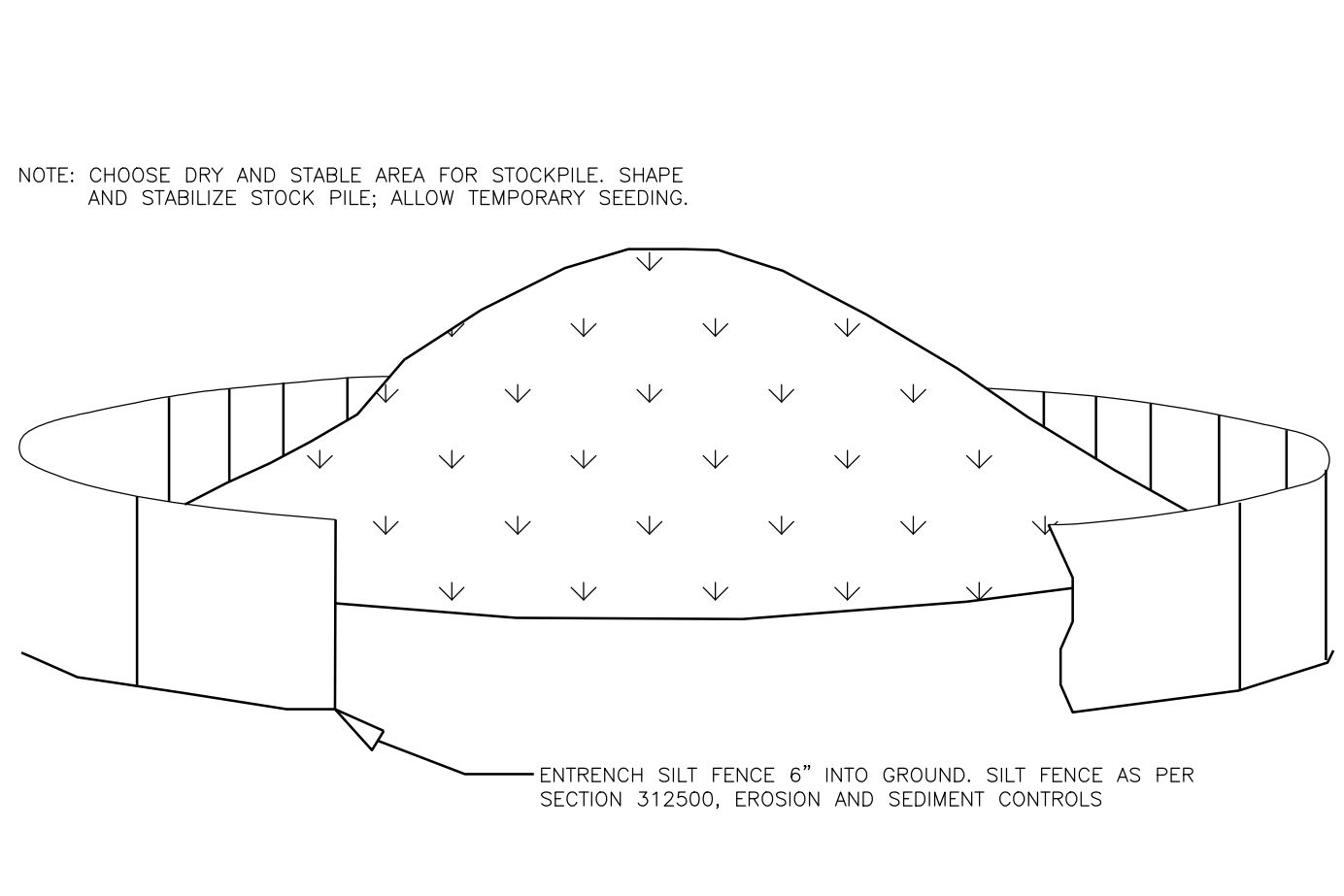
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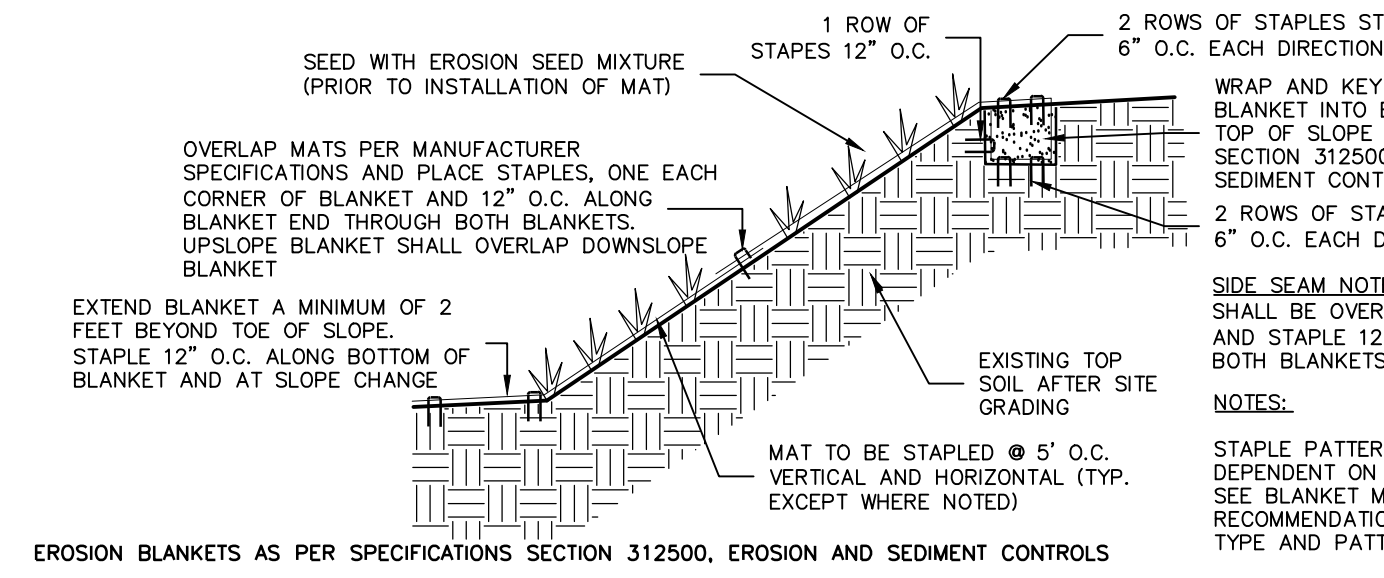
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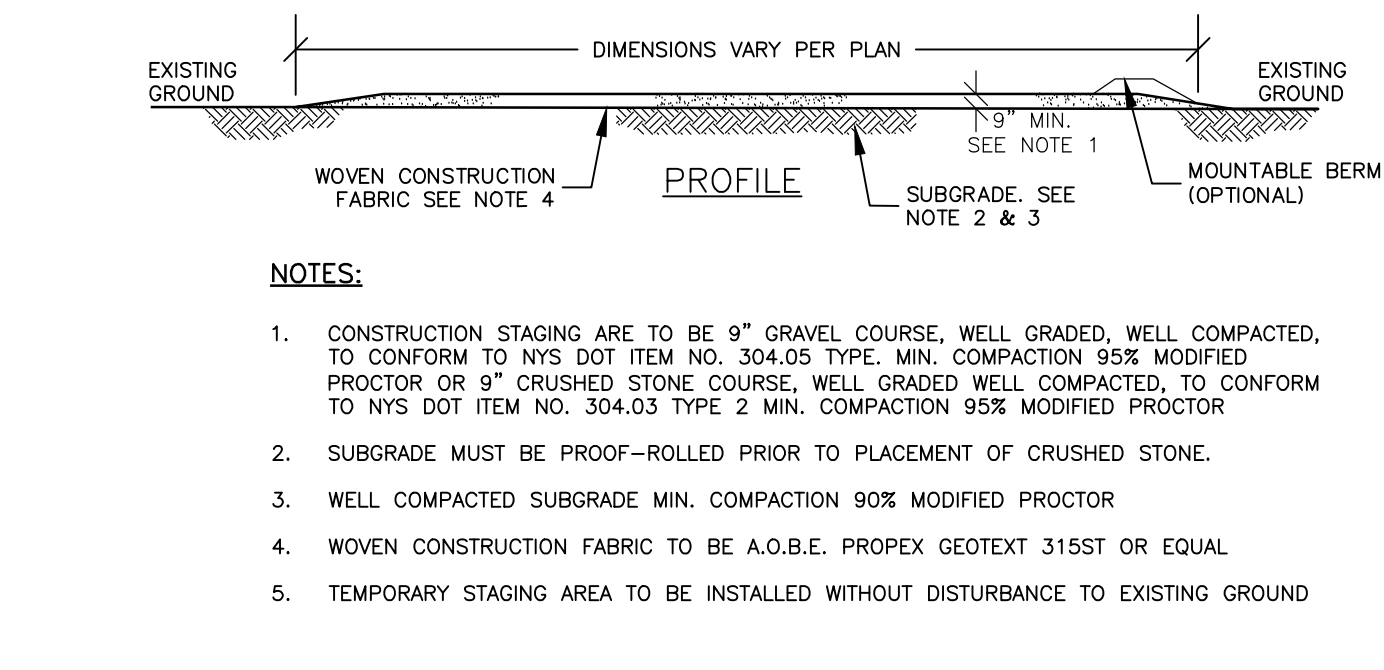
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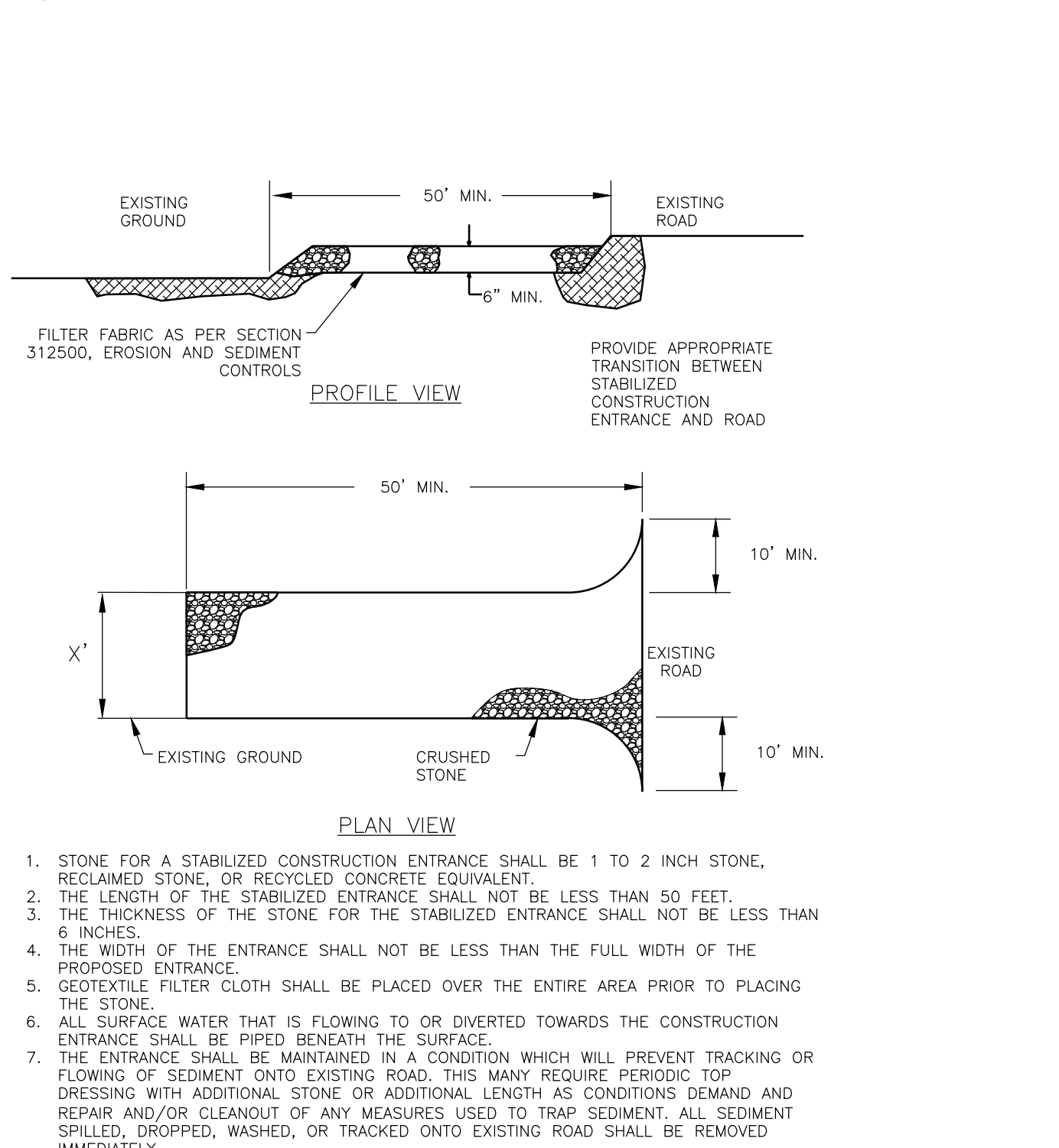
1 SOIL STOCKPILE AREA
NOT TO SCALE



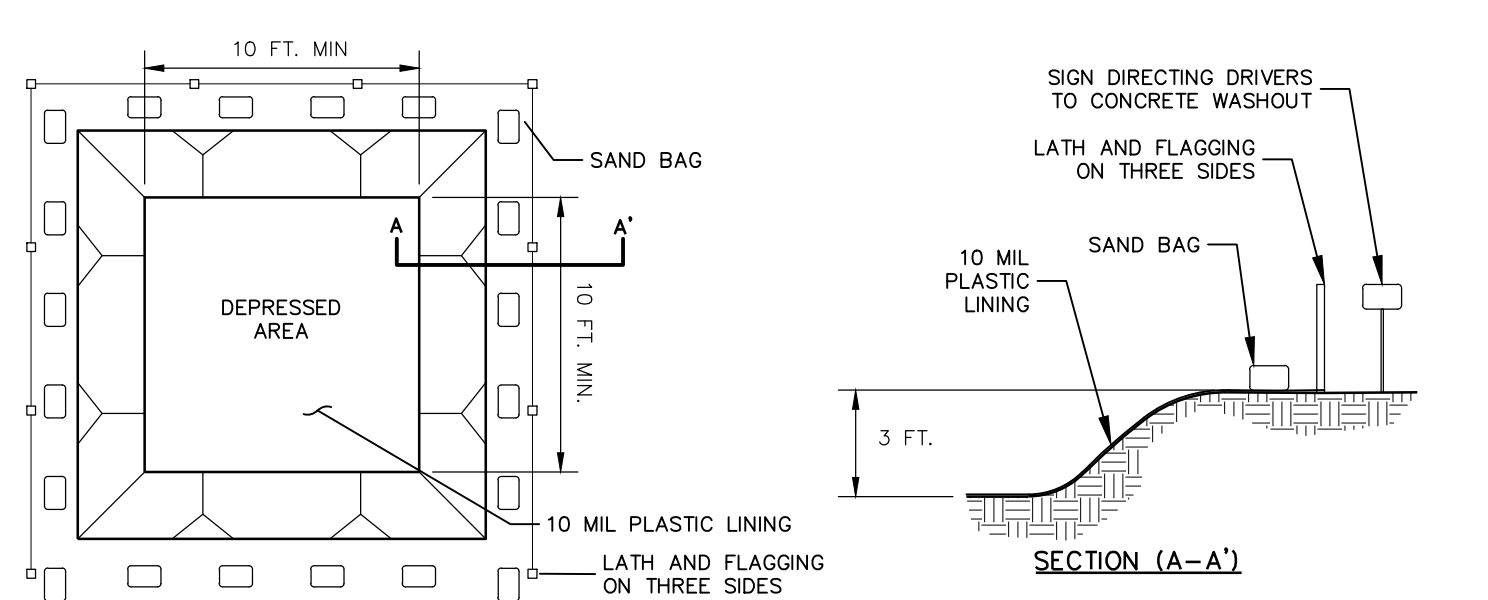
2 EROSION CONTROL BLANKET
NOT TO SCALE



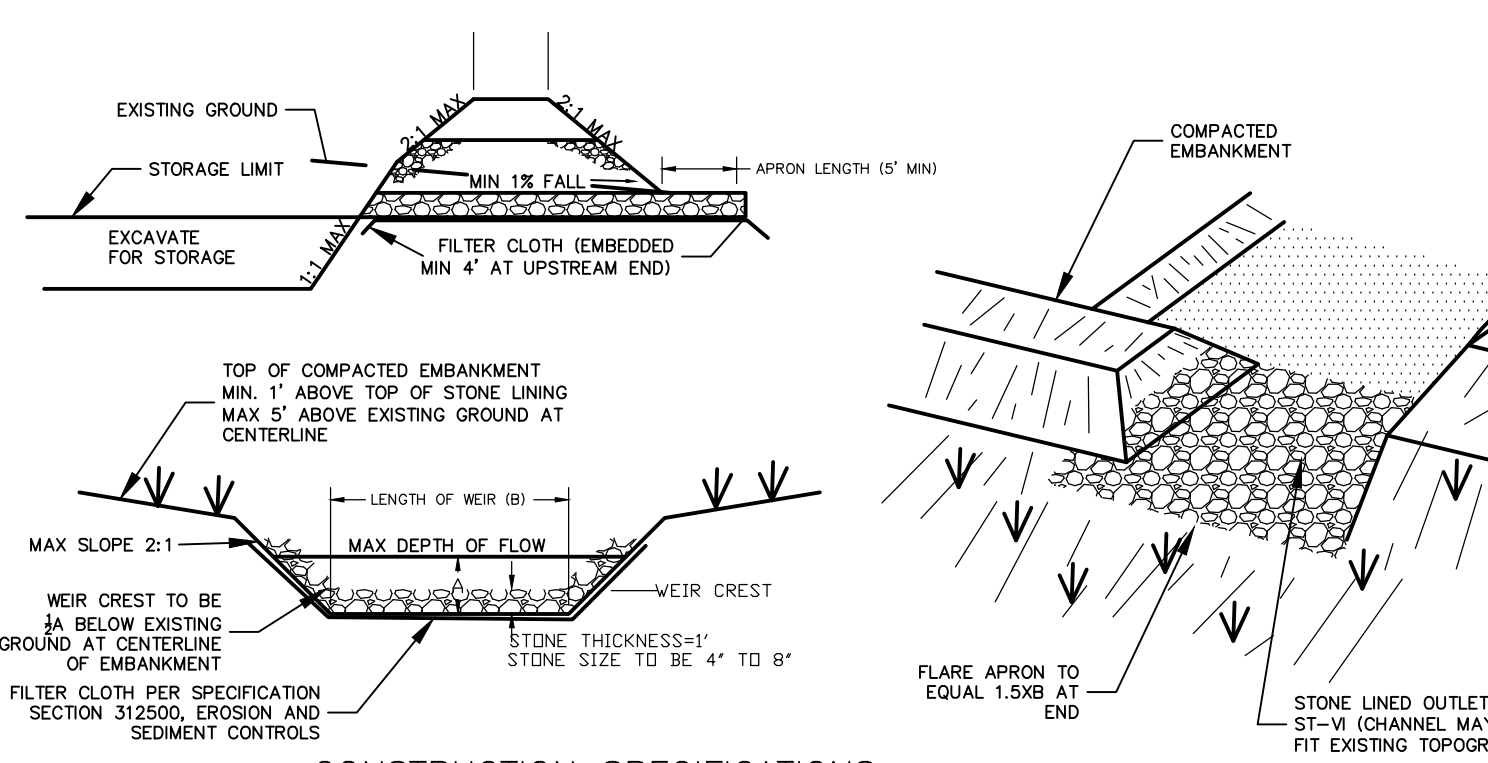
3 TEMPORARY STAGING AREA
NOT TO SCALE



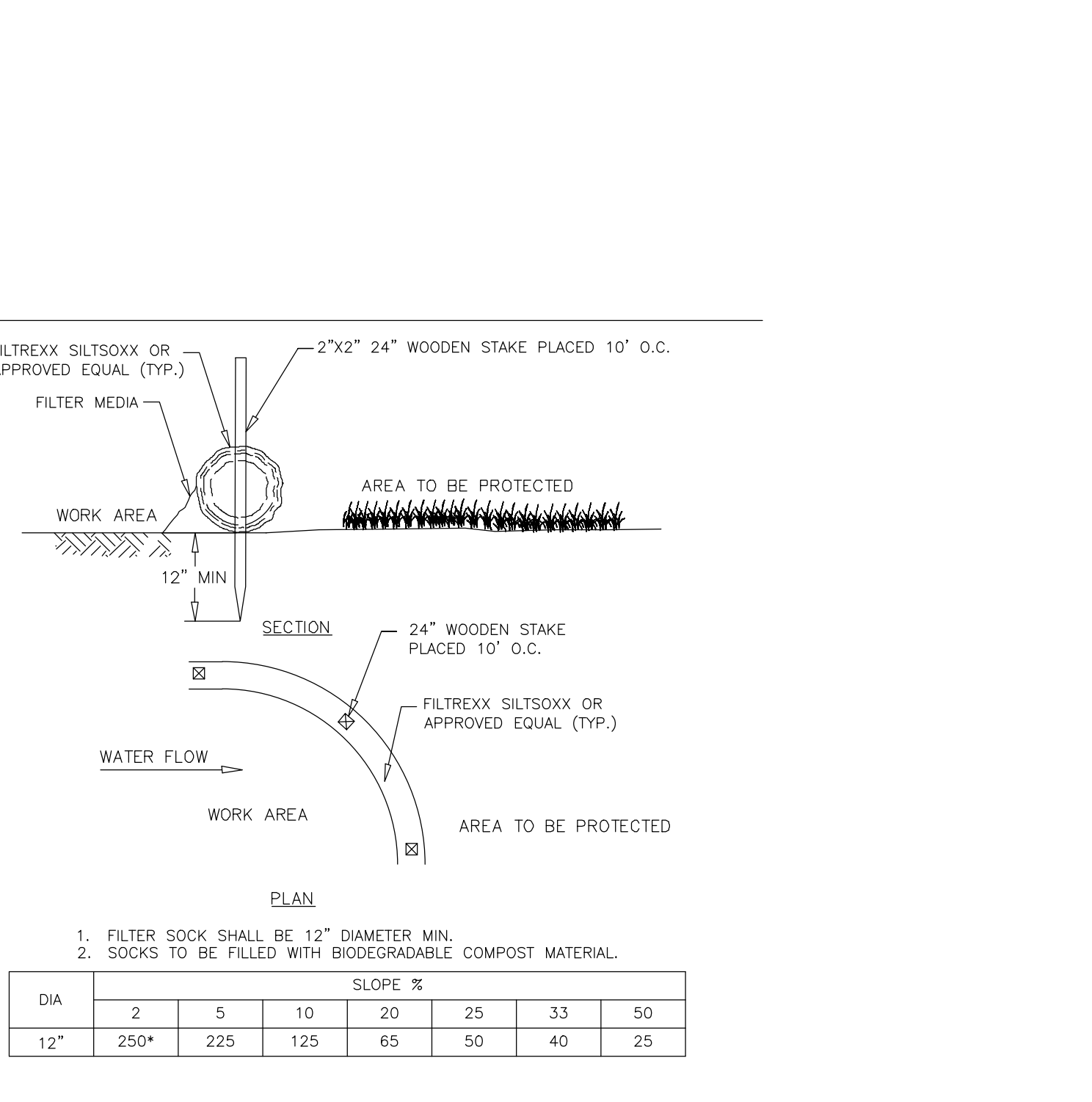
4 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



5 CONCRETE WASHOUT FACILITY
NOT TO SCALE



6 STONE OUTLET SEDIMENT TRAP
NOT TO SCALE



7 12 IN. FILTER SOCK
NOT TO SCALE

EROSION AND SEDIMENT CONTROL AND STABILIZATION MEASURES, MAINTENANCE AND INSPECTION PRACTICES:

1. THE FOLLOWING IS A LIST OF EROSION AND SEDIMENT CONTROLS TO BE USED ON THIS SITE DURING CONSTRUCTION:

A. STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- LAND CLEARING ACTIVITIES SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND SHALL PROCEED AS EARTHWORK IS NEEDED.
- WATERING OF EXCAVATION AND FILL AREAS TO MINIMIZE WIND EROSION DURING CONSTRUCTION AS NEEEDED.
- USE OF STABILIZATION FABRIC FOR ALL SLOPES HAVING A SLOPE OF 1V:2H OR GREATER AND FILL SLOPES 1V:3H OR GREATER.
- PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

B. STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- PERIMETER PROTECTION USING COMPOST FILTER SOCKS
- STABILIZED CONSTRUCTION EXIT POINTS
- SEDIMENT TRAPS OR FILTER SOCKS
- CHECK DAMS

2. THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS AND STABILIZATION MEASURES.

A. ALL CONTROL MEASURES WILL BE INSPECTED ONCE EVERY SEVEN (7) DAYS BY A QUALIFIED INSPECTOR AS DESCRIBED IN PART IV, SECTION C OF THE SPDES PERMIT FOR CONSTRUCTION ACTIVITY NO. GP-0-20-001. SITES THAT HAVE A WAIVER TO DISTURB GREATER THAN FIVE (5) ACRES REQUIRE (2) INSPECTIONS EVERY SEVEN (7) DAYS WITH AT LEAST TWO (2) DAYS BETWEEN INSPECTIONS.

B. DISTURBED AREAS SHALL BE STABILIZED AS SOON AS PRACTICAL AFTER CONSTRUCTION ACTIVITIES HAVE CONCLUDED IN AN AREA. ALL BARE AREAS AND AREAS SUBJECT TO EROSION SHALL BE BLANKETED OR SEEDED AND MULCHED WITHIN 7 DAYS WITH TEMPORARY EROSION CONTROL SEEDING.

C. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF REPAIRS ARE FOUND TO BE NECESSARY, THEY WILL BE INITIATED WITHIN 24 HOURS OF REPORT. BUILT UP SEDIMENT WILL BE REMOVED FROM FILTER SOCKS WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE SOCK. AN ADDITIONAL FILTER SOCK MAY BE INSTALLED ON TOP OF THE ORIGINAL TO INCREASE SEDIMENT STORAGE CAPACITY/PREVENT SEDIMENT DISTURBANCE.

E. FILTER SOCKS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, DISLODGE, BREAKS, TEARS, ETC. DAMAGED OR DISLODGED FILTER SOCKS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

F. TEMPORARY AND PERMANENT SEEDING AND ALL OTHER STABILIZATION MEASURES WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

G. SEDIMENT BASINS WILL BE INSPECTED FOR DEPTH OF SEDIMENT. BUILT UP SEDIMENT WILL BE REMOVED FROM FILTER SOCKS WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE CHECK DAM.

H. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. COPIES OF THE REPORT FORMS TO BE COMPLETED BY THE INSPECTOR ARE INCLUDED IN THIS SWPPP. UPON COMPLETION, COPIES OF THE REPORTS SHALL BE SUBMITTED TO THE TOWN.

J. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SELECTING AND TRAINING THE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR THESE INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT INSPECTION AND MAINTENANCE REPORTS. ALL PERSONNEL PERFORMING INSPECTIONS MUST MEET THE REQUIREMENTS DESCRIBED IN PART IV, SECTION C OF THE SPDES PERMIT FOR CONSTRUCTION ACTIVITY NO. GP-0-20-001.

K. PERSONNEL SELECTED FOR THE INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE APPROPRIATE INSTRUCTION FROM THE JOB SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS THAT ARE USED ON SITE IN GOOD WORKING ORDER. THEY WILL ALSO BE TRAINED IN THE COMPLETION OF, INITIATION OF ACTIONS REQUIRED BY, AND THE FILING OF THE INSPECTION FORMS. DOCUMENTATION OF THIS PERSONNEL TRAINING WILL BE KEPT ON SITE WITH THE SWPPP. ALL PERSONNEL PERFORMING INSPECTIONS MUST MEET THE REQUIREMENTS DESCRIBED IN PART IV, SECTION C OF THE SPDES PERMIT FOR CONSTRUCTION ACTIVITY NO. GP-0-20-001.

L. DISTURBED AREAS AND MATERIAL STORAGE AREAS WILL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING STORMWATER SYSTEMS. REPORT TO THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION WITHIN 24 HOURS ANY NONCOMPLIANCE WITH THE SWPPP THAT WILL ENDANGER PUBLIC HEALTH OR THE ENVIRONMENT. FOLLOW UP WITH A WRITTEN REPORT WITHIN 5 DAYS OF THE NONCOMPLIANCE EVENT.

N. NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR POLLUTION RUNOFF. NO RE-FUELING SHALL BE OCCUR WITHIN 100 FEET OF ANY WETLAND RESOURCE AREA AND 200 FEET FROM RIVERFRONT. LEAKING EQUIPMENT OR SUPPLIES SHALL IMMEDIATELY BE REPAIRED OR REMOVED FROM THE SITE. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM FORMING.

SILT FENCE GENERAL NOTES:

- SILT FENCE SHALL BE PLACED A MINIMUM OF 5 FT. FROM TOE OF SLOPE, 10 FT. PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
- POSTS MAY BE 1.25"x1.25" (MINIMUM) HARDWOOD, TYPICALLY. FOR WIRE MESH BACK USE 2"x2" NOM. HARDWOOD, OR STEEL "T" OR "U" POSTS (1 lb per ft). SILT FENCE SHALL BE WOVEN GEOTEXTILE 2130 OR EQUIV. SENSITIVE AREAS TO BE PROTECTED MAY NEED TO BE REINFORCED BY USING HEAVY WIRE FENCING FOR ADDITIONAL SUPPORT TO PREVENT COLLAPSE.
- THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 6" BELOW GROUND. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC.
- MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SILT FENCE PLACED ON A SLOPE ARE:

SLOPE STEEPNESS	MAXIMUM SLOPE LENGTH / FENCE LENGTH (ft.)
<2-10%	600/1000
2-10%	1200/2000
10-20%	600/2000
20-33%	600/2000
33-50%	400/2000
>50%	200/2000

- MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE. WITH MAXIMUM PONDING DEPTH OF 1.5 FEET BEHIND THE FENCE, AND EROSION WOULD OCCUR IN THE FORM OF SHEET EROSION; AND THERE IS NO CONCENTRATION OF WATER FLOWING TO THE BARRIER.
- MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS, AFTER EACH RAINFALL OF .65" OR MORE WITHIN A 12 HOUR PERIOD, OR DAILY DURING PROLONGED RAINFALL. MEASURES SHALL BE CLEANED AND REPAIRED AS REQUIRED.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-THIRD OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.

SILT FENCE INSTALLATION NOTES:

- GEOTEXTILE FABRIC AND WOVEN WIREMESH TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACES EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADDITIONAL EROSION CONTROL AND GRADING NOTES:

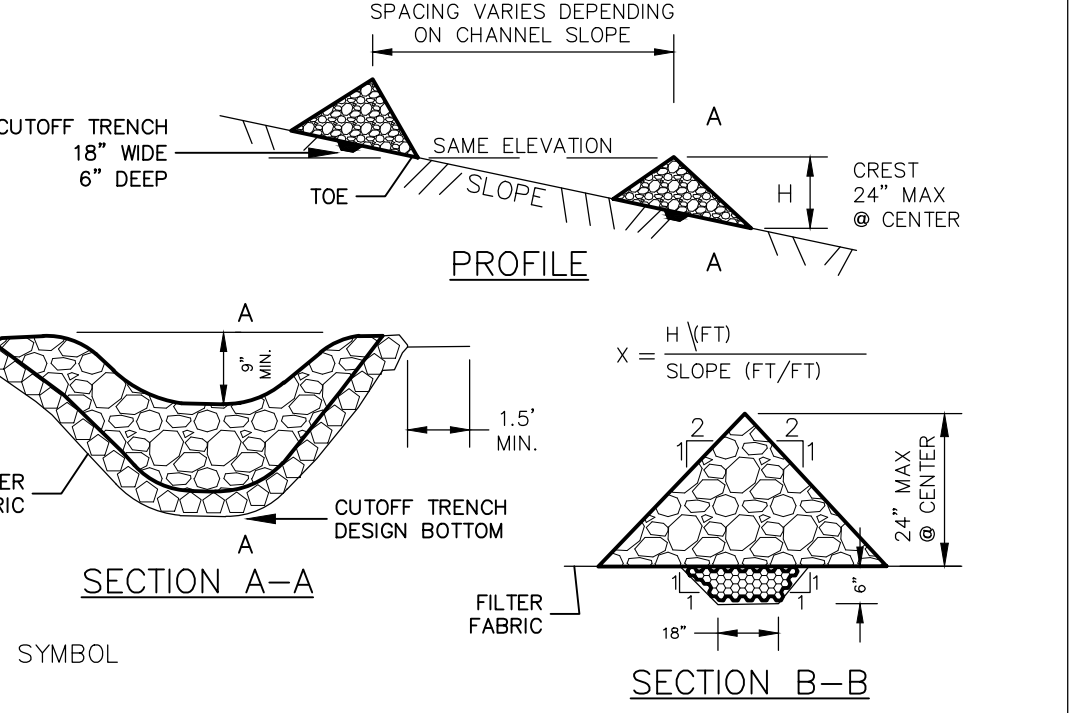
- MINIMAL EROSION CONTROL DEVICES ARE ILLUSTRATED ON SITE PLAN IN A SCHEMATIC MANNER BASED ON NY STATE GUIDELINES FOR EROSION AND SEDIMENT CONTROL. IT WILL BE NECESSARY TO ADJUST THE ACTUAL LOCATION AND QUANTITY OF EROSION CONTROL DEVICES DEPENDING UPON FIELD CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THESE MEASURES AS REQUIRED TO PROTECT THE SITE.
- SLOPES SHALL TYPICALLY BE GRADED AT A MAXIMUM OF 3:1 (3 HORIZ. 1 VERT.) WITHIN ALL CUT OR FILL AREAS, UNLESS OTHERWISE DESIGNATED ON PLANS.
- TEMPORARY SEED SHALL BE A COMMERCIALY AVAILABLE MIXTURE OF PERENNIAL RYE AND UTILITY GRADE FESCUE. PERCENTAGE OF PERENNIAL RYE SHALL NOT EXCEED 50%. PERMANENT SEED SHALL BE AS SPECIFIED ON THE PLANTING PLANS.
- SEEDED AREAS SHALL BE FULLY COVERED WITH A LEAN STRAW OR MULCH MATERIAL. IF ORDERED BY THE ENGINEER OR MUNICIPALITY, A BIODEGRADABLE NETTING (E.G., EXCESSOR BLANKET, CORG GEOTEXTILE) SHALL BE ANCHORED OVER SEEDED AREAS WHICH DEMONSTRATE "TRILING" OR OTHER EROSION PROCESSES.
- TOPSOIL AND SEED SHALL BE REAPPLIED TO ANY AREAS WHICH FAIL TO ESTABLISH AS A RESULT OF INITIAL APPLICATION.
- FILTER SOCK BARRIERS SHALL BE PLACED WITHIN ALL AREAS OF EXPOSED SLOPES TO CONTROL SOIL EROSION DURING AND AFTER CONSTRUCTION.
- EROSION CONTROL (ERO-MAT), GEOTEXTILE FABRIC, COMPOST BLANKET, RIPRAP, OR APPROVED EQUIV., SHALL BE INSTALLED ON ALL 6H:1V SLOPES. AN ORGANIC FIBER PROTECTIVE MAT, APPROX. 1/2" THICK LAYER OF COVERED STRAW, KNITTED INTO A RUBBER MAT WITH A THIN NETTING OF PHOTODEGRADABLE POLYPROPYLENE. SECURE MAT TO SLOPE WITH 6" STEEL U-SHAPED STAPLES, 2 STAPLES PER SQUARE YARD, OR AS PER MANUFACTURER'S INSTRUCTIONS.
- PRIOR TO SEEDING, ACCESS AISLES, TEMPORARY STAGING AREAS, STORAGE, AND PARKING AREAS TO BE DECOMPACTED AND RELOADED.
- SEDIMENT BARRIERS SHALL BE CONSTRUCTED AROUND ALL SOIL STOCKPILE AREAS.
- STREAM REACHES ON-SITE AND DOWNSTREAM OF CONSTRUCTION SHALL NOT HAVE SUBSTANTIAL VISIBLE CONTRAST RELATIVE TO COLOR, TASTE, ODOR, TURBIDITY AND SEDIMENT DEPOSITION FROM THE REACHES UPSTREAM OF THE CONSTRUCTION ACTIVITY.
- VEHICULAR ACCESS POINTS SHALL BE MONITORED AND INSPECTED AT THE SAME FREQUENCY AS EROSION CONTROL FEATURES TO INSURE THAT DEPOSITS OF SAND, SILT OR OTHER MATERIAL IS NOT BEING DEPOSITED ON PUBLIC ROADS. IN THE EVENT ANY SIGNIFICANT DEPOSITS OCCUR THEY SHALL BE CLEANED UP IMMEDIATELY.
- A SPDES PERMIT SHALL BE IN PLACE PRIOR TO COMMENCING ANY GROUND DISTURBANCE.
- PROJECT DRAINAGE FEATURES TO BE CLEANED OUT AFTER COMPLETION OF CONSTRUCTION.

SEQUENCE OF CONSTRUCTION ACTIVITIES:

- SITE TO BE MOBILIZED. FIELD DELINEATION OF THE LIMITS OF DISTURBANCE FOR EACH PHASE ON THE PHASING PLAN AND THE OVERALL LIMITS OF DISTURBANCE. REFERENCE PHASING PLANS FOR FURTHER CONSTRUCTION SEQUENCING AS NEEDED.
- EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN CONJUNCTION WITH ANY BRUSH OR TREE CLEARING REQUIRED. NOTE: EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH SHEETS C-400, C-401, C-402, AND C-403 AND ASSOCIATED DETAILS AS WELL AS NYS DEC CONSTRUCTION GENERAL PERMIT #GP-0-20-001. IN ANY INSTANCE THAT A CONFLICT BETWEEN THESE TWO GUIDELINES IS PRESENT, THE MORE CONSERVATIVE GUIDELINE TAKES PRECEDENT.
- CLEARING AND GRUBBING OPERATIONS CREW SHALL CHIP AND MULCH DIRECTLY BEHIND OPERATION TO MAKE SURE NO AREAS ABOVE FIVE ACRES SHALL BE DISTURBED AT ANY TIME. NO MORE THAN FIVE ACRES SHALL BE DISTURBED AT ANY ONE TIME WITHOUT PRIOR APPROVAL FROM NYSDEC.
- INSTALLATION OF ACCESS ROAD TO COMMENCE. NOTE: ANY AREAS OF DISTURBANCE SHALL BE STABILIZED WITH TEMPORARY SEEDING PER THE REQUIRED TIMELINES AS PER NYS DEC CONSTRUCTION GENERAL PERMIT #GP-0-20-001.
- MV TRENCHES AND FOUNDATIONS INSTALLATION IN CONJUNCTION WITH THE PLACEMENT OF CONCRETE FOUNDATIONS FOR THE ELECTRICAL EQUIPMENT PADS TO COMMENCE.
- WATERING OF THE EXCAVATION AND FILL AREAS SHALL BE DONE TO MINIMIZE WIND EROSION AS NEEDED THROUGHOUT CONSTRUCTION.
- AS OVERLAND FLOW DISPERSION DEVICES ARE INSTALLED COMPOST FILTER SOCKS SHALL BE PLACED UP-GRADE AS SHOWN ON SHEETS C-400, C-401, C-402, AND C-403.
- RACKING, TABLES, MODULES, INVERTERS AND ELECTRICAL EQUIPMENT INSTALLATION TO COMMENCE.
- REMOVE LAYDOWN AREA, SPREAD GRAVEL ON ROADWAY, AND SEED AREAS. CONSTRUCT PERMANENT MAINTENANCE ACCESS ROAD.
- FINAL SITE STABILIZATION TO COMMENCE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE REMOVED ONCE 80% VEGETATIVE COVER HAS BEEN ACHIEVED. REMOVE FILTER SOCKS, STABILIZED CONSTRUCTION ENTRANCES, AND OTHER TEMPORARY EROSION AND SEDIMENT CONTROLS. ANY RESULTING AREAS OF DISTURBANCE FROM SAID REMOVAL TO BE SEEDED PRIOR TO DEMOBILIZATION.
- SITE TO BE DEMOBILIZED.

SOIL RESTORATION:

AS PER CHAPTER 5 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, SOIL RESTORATION IS REQUIRED ON THIS SITE IN ALL NON-IMPERVIOUS AREAS ONCE FINAL SUBGRADE ELEVATION IS ACHIEVED. IN AREAS OF CUT OR FILL THE SOILS SHALL BE AERATED AND 6 INCHES OF TOPSOIL SHALL BE APPLIED. IN AREAS OF HEAVY CONSTRUCTION TRAFFIC (ESPECIALLY IN AREAS 5 TO 25 FEET FROM BUILDING, BUT NOT WITHIN 5 FEET OF FOUNDATION WALLS) FULL SOIL RESTORATION PER NYSDEC DEEP-RIPPING AND DECOMPACT GUIDANCE APRIL 2008 SHALL BE APPLIED.



9 CHECK DAM
NOT TO SCALE

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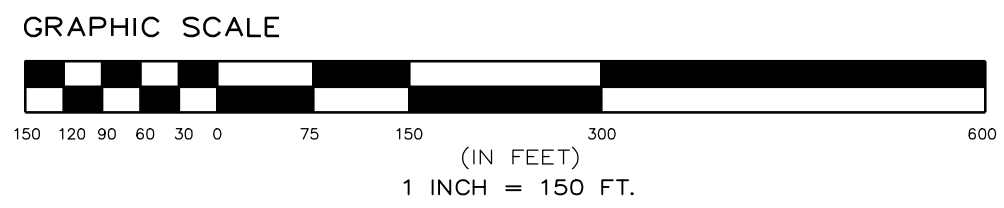
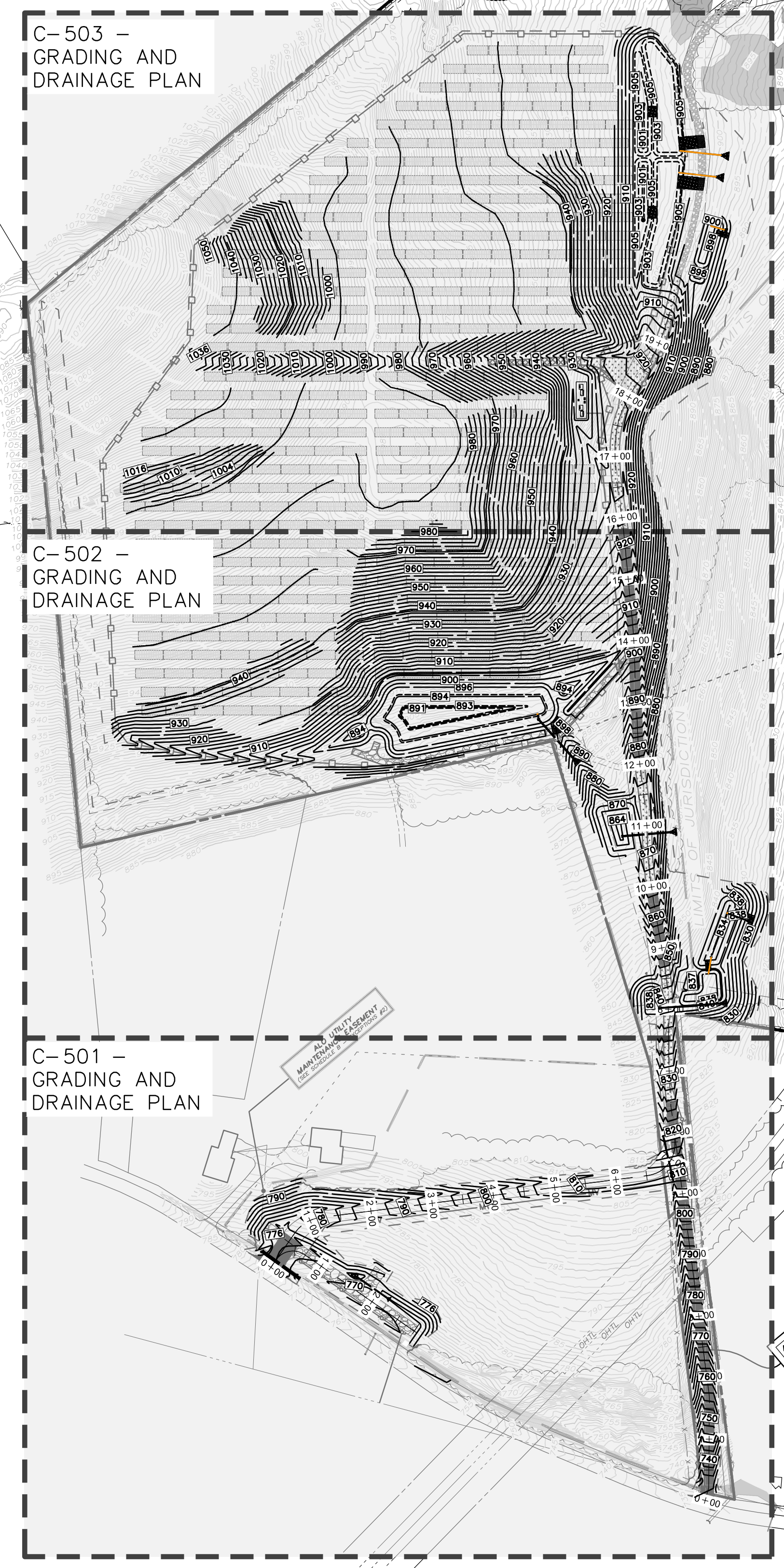
STATE OF NEW YORK
Professional Engineer
No. 10087
Wilson Hill Solar

WILSON HILL SOLAR
469 Wilson Hill Road
Hoosick Falls, NY 12090

EROSION AND SEDIMENT CONTROL DETAILS
NOT FOR CONSTRUCTION
Scale: As Shown Approved by: STA
Drawing Title:
Dwg No: Size: D Sheet Rev:
C-404 H

DRAINAGE AND GRADING PLAN LEGEND

- DENOTES EXISTING GRADE
- DENOTES USACE WETLAND AREAS 4
C-601
- DENOTES EMERGENCY OVERFLOW 2
C-602
- PERVIOUS GRAVEL UTILITY ACCESS ROAD 2
C-600
- DENOTES IMPERVIOUS GRAVEL MAINTENANCE ACCESS ROAD 2
C-600
- DENOTES FIXED KNOT FARM FENCE 3
C-600
- DENOTES SOLAR PANEL TRACKER (SEE ELECTRICAL PLANS FOR DETAILS) 6
C-601
- DENOTES MEDIUM VOLTAGE TRENCH (SEE ELECTRICAL PLANS FOR DETAILS)
- DENOTES PROPOSED CONTOUR
- DENOTES PERMANENT OVERLAND FLOW DISPERSION DEVICE 5
C-601
- DENOTES IMPROVED IMPERVIOUS PAVED PORTIONS OF MAINTENANCE ACCESS ROAD 4
C-602
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN 2
C-601

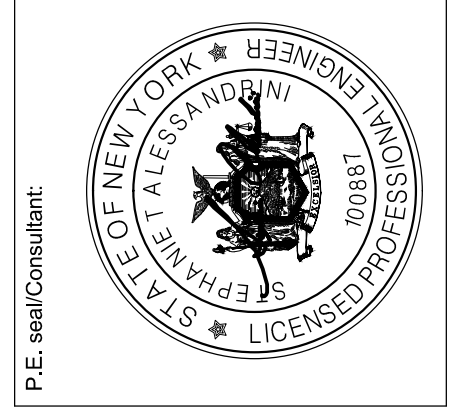


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WILSON HILL SOLAR

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Hoosick Falls, NY 12090

OVERALL GRADING AND DRAINAGE PLAN

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Scale: As Shown Approved by: STA

Drawn by: BMW

Dwg No: C-500 Sheet Rev: H

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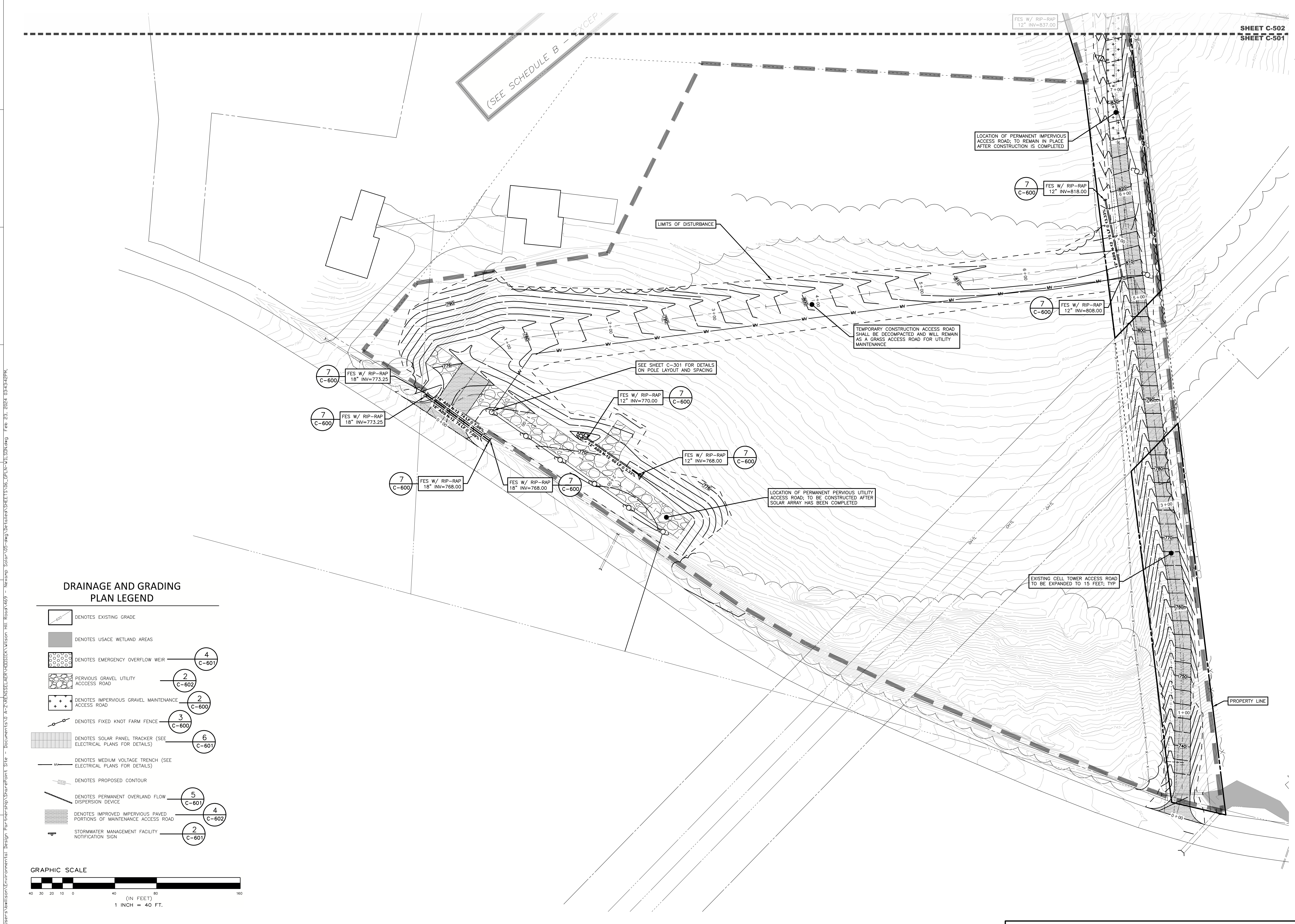
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SHEET C-502
SHEET C-501

FES W/ RIP-RAP
12" INV=837.00

LOCATION OF PERMANENT IMPERVIOUS
ACCESS ROAD TO REMAIN IN PLACE
AFTER CONSTRUCTION IS COMPLETED

7
C-600 FES W/ RIP-RAP
12" INV=818.00

LIMITS OF DISTURBANCE

TEMPORARY CONSTRUCTION ACCESS ROAD
SHALL BE DECOMPACTED AND WILL REMAIN
AS A GRASS ACCESS ROAD FOR UTILITY
MAINTENANCE

7
C-600 FES W/ RIP-RAP
12" INV=808.00

SEE SHEET C-301 FOR DETAILS
ON POLE LAYOUT AND SPACING

7
C-600 FES W/ RIP-RAP
18" INV=773.25

7
C-600 FES W/ RIP-RAP
18" INV=773.25

FES W/ RIP-RAP
12" INV=770.00

FES W/ RIP-RAP
12" INV=768.00

7
C-600 FES W/ RIP-RAP
18" INV=768.00

FES W/ RIP-RAP
18" INV=768.00

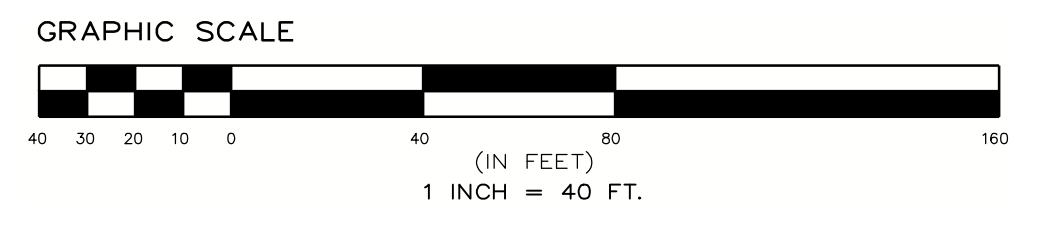
LOCATION OF PERMANENT PERVIOUS UTILITY
ACCESS ROAD TO BE CONSTRUCTED AFTER
SOLAR ARRAY HAS BEEN COMPLETED

EXISTING CELL TOWER ACCESS ROAD
TO BE EXPANDED TO 15 FEET, TYP

PROPERTY LINE

DRAINAGE AND GRADING PLAN LEGEND

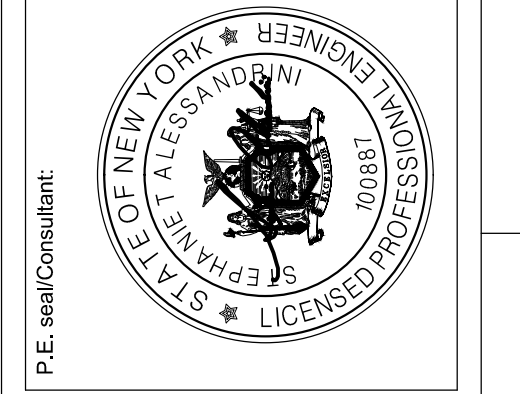
- DENOTES EXISTING GRADE
- DENOTES USACE WETLAND AREAS
- DENOTES EMERGENCY OVERFLOW WEIR
- PERVIOUS GRAVEL UTILITY ACCESS ROAD
- DENOTES IMPERVIOUS GRAVEL MAINTENANCE ACCESS ROAD
- DENOTES FIXED KNOT FARM FENCE
- DENOTES SOLAR PANEL TRACKER (SEE ELECTRICAL PLANS FOR DETAILS)
- DENOTES MEDIUM VOLTAGE TRENCH (SEE ELECTRICAL PLANS FOR DETAILS)
- DENOTES PROPOSED CONTOUR
- DENOTES PERMANENT OVERLAND FLOW DISPERSION DEVICE
- DENOTES IMPROVED IMPERVIOUS PAVED PORTIONS OF MAINTENANCE ACCESS ROAD
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN



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ENVIRONMENTAL DESIGN
PARTNERSHIP, LLP.
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(518) 371-7621

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WILSON HILL SOLAR

469 Wilson Hill Road
Hoosick Falls, NY 12090

GRADING AND DRAINAGE PLAN

NOT FOR CONSTRUCTION

Scale: As Shown Approved by: STA

Dwg No: C-501 H
Size: D
Sheet Rev: H

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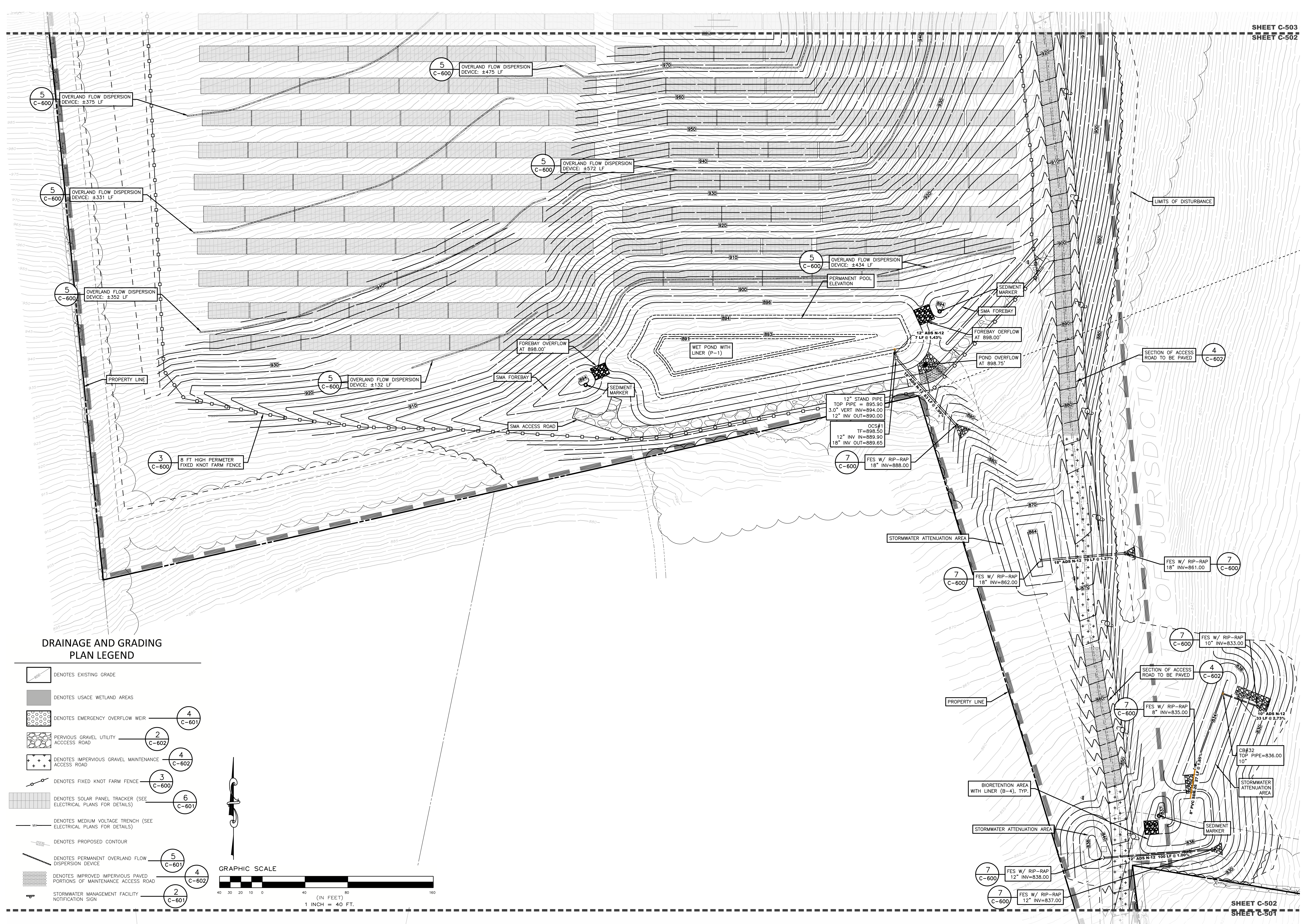
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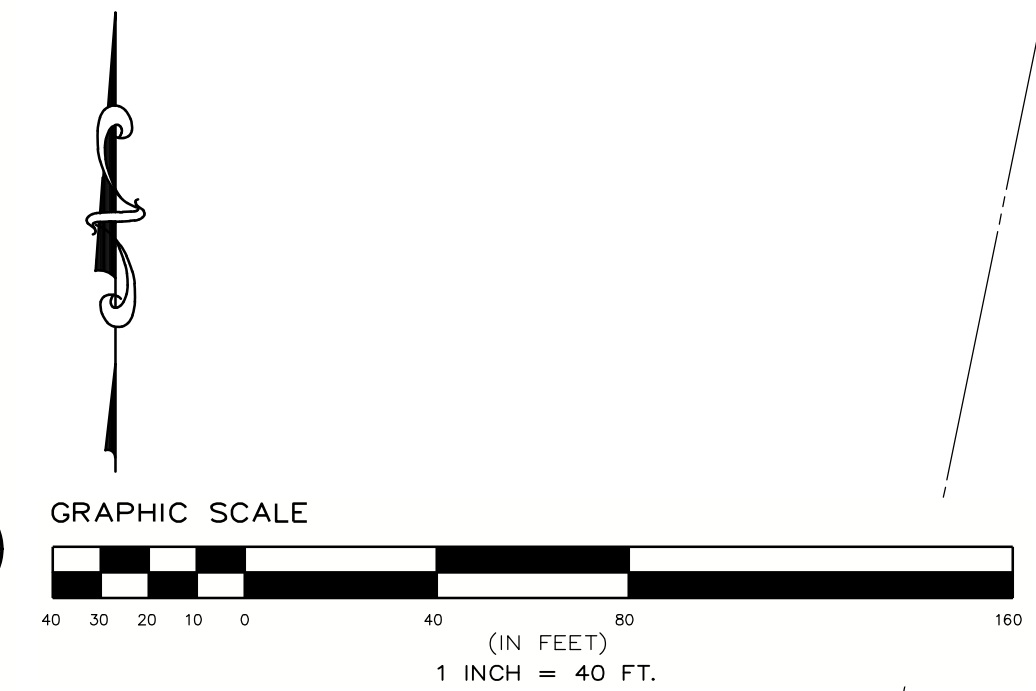
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SHEET C-503
SHEET C-502



DRAINAGE AND GRADING PLAN LEGEND

- DENOTES EXISTING GRADE
- DENOTES USACE WETLAND AREAS
- DENOTES EMERGENCY OVERFLOW WEIR (4 C-601)
- PERVIOUS GRAVEL UTILITY ACCESS ROAD (2 C-602)
- DENOTES IMPERVIOUS GRAVEL MAINTENANCE ACCESS ROAD (4 C-602)
- DENOTES FIXED KNOT FARM FENCE (3 C-600)
- DENOTES SOLAR PANEL TRACKER (SEE ELECTRICAL PLANS FOR DETAILS) (6 C-601)
- DENOTES MEDIUM VOLTAGE TRENCH (SEE ELECTRICAL PLANS FOR DETAILS)
- DENOTES PROPOSED CONTOUR
- DENOTES PERMANENT OVERLAND FLOW DISPERSION DEVICE (5 C-601)
- DENOTES IMPROVED IMPERVIOUS PAVED PORTIONS OF MAINTENANCE ACCESS ROAD (4 C-602)
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN (2 C-601)



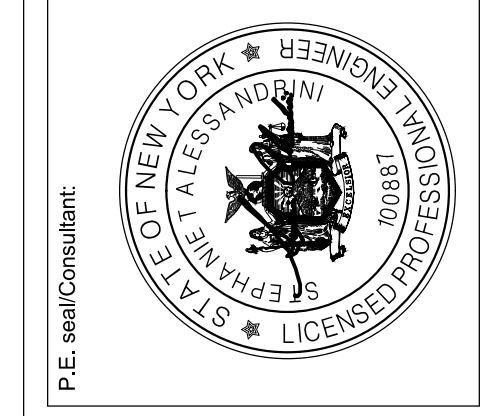
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WILSON HILL SOLAR

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Hoosick Falls, NY 12090

GRADING AND DRAINAGE PLAN

NOT FOR CONSTRUCTION

Scale: As Shown Approved by: STA

Drawn by: BMW

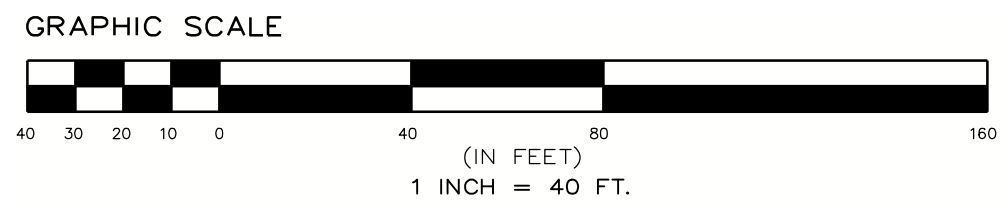
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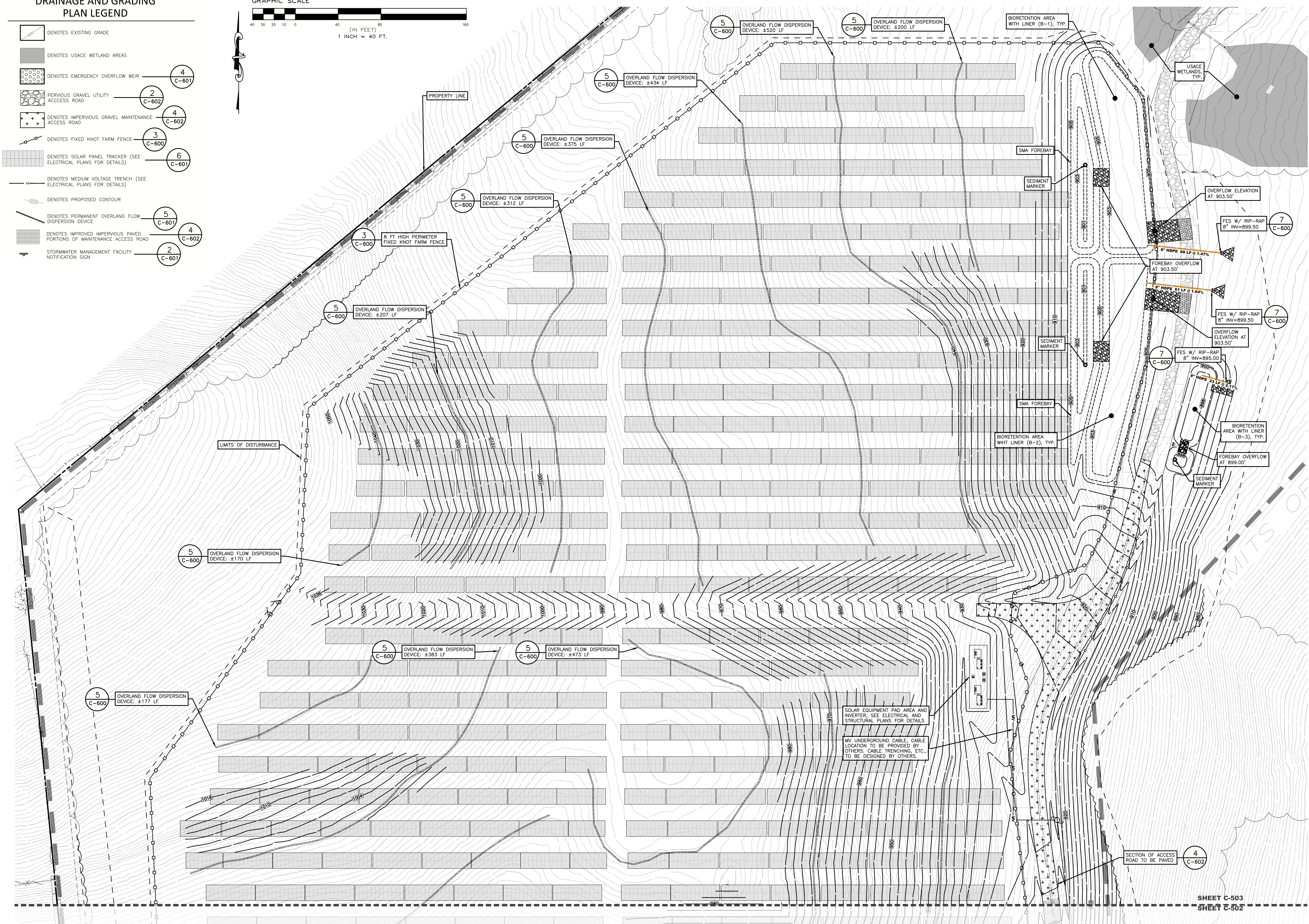
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DRAINAGE AND GRADING PLAN LEGEND

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- DENOTES IMPROVED IMPERVIOUS PAVED PORTIONS OF MAINTENANCE ACCESS ROAD
- STORMWATER MANAGEMENT FACILITY NOTIFICATION SIGN



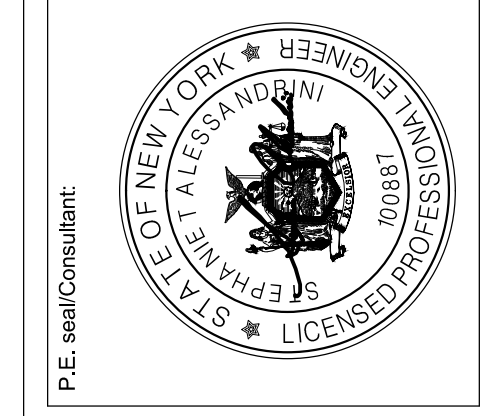
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WILSON HILL SOLAR

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GRADING AND DRAINAGE PLAN

NOT FOR CONSTRUCTION

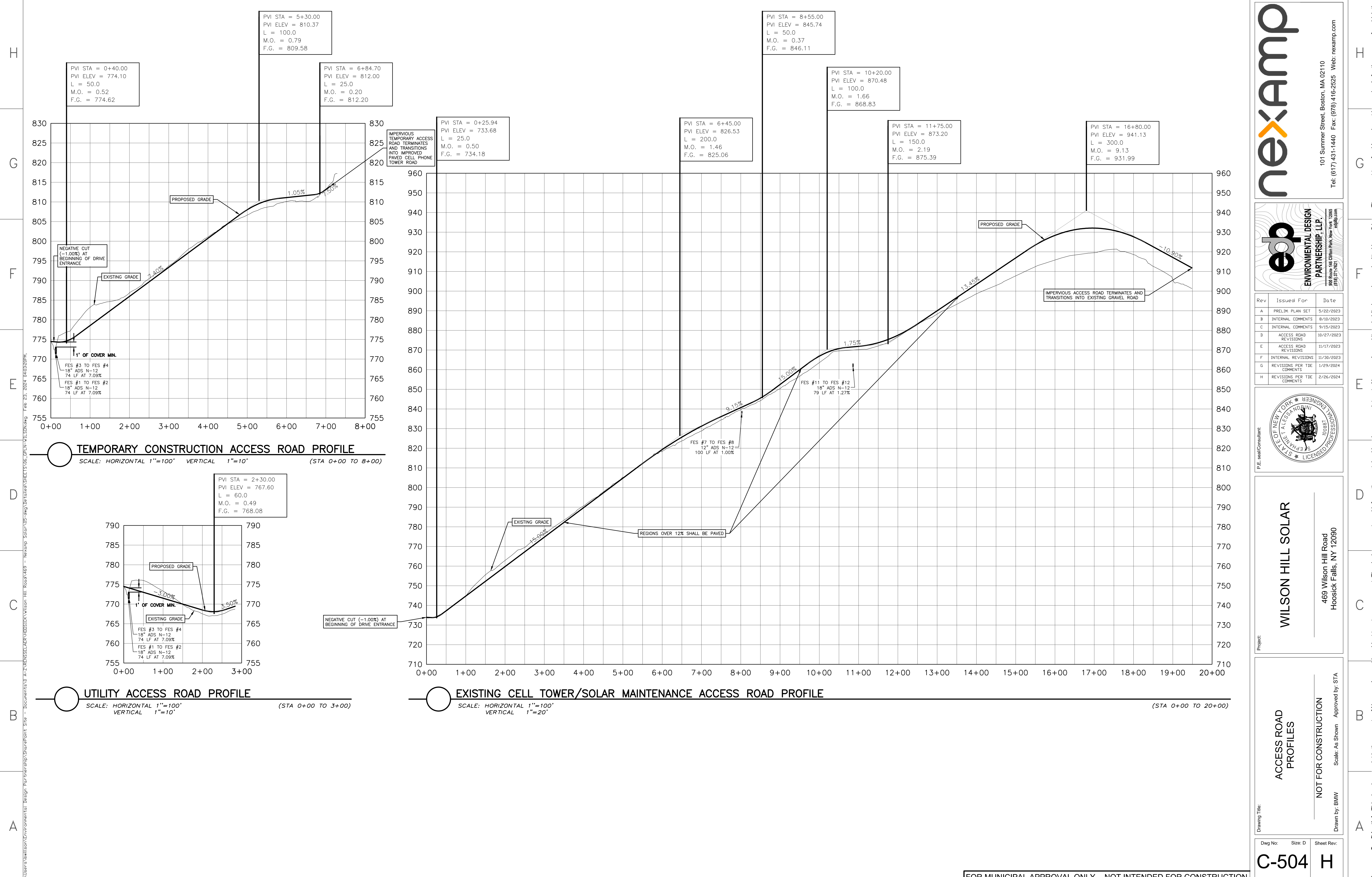
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Drawn by: BMW

Dwg No: **C-503** Size: D Sheet Rev: **H**

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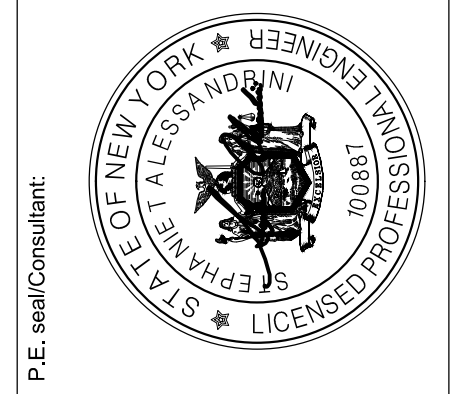
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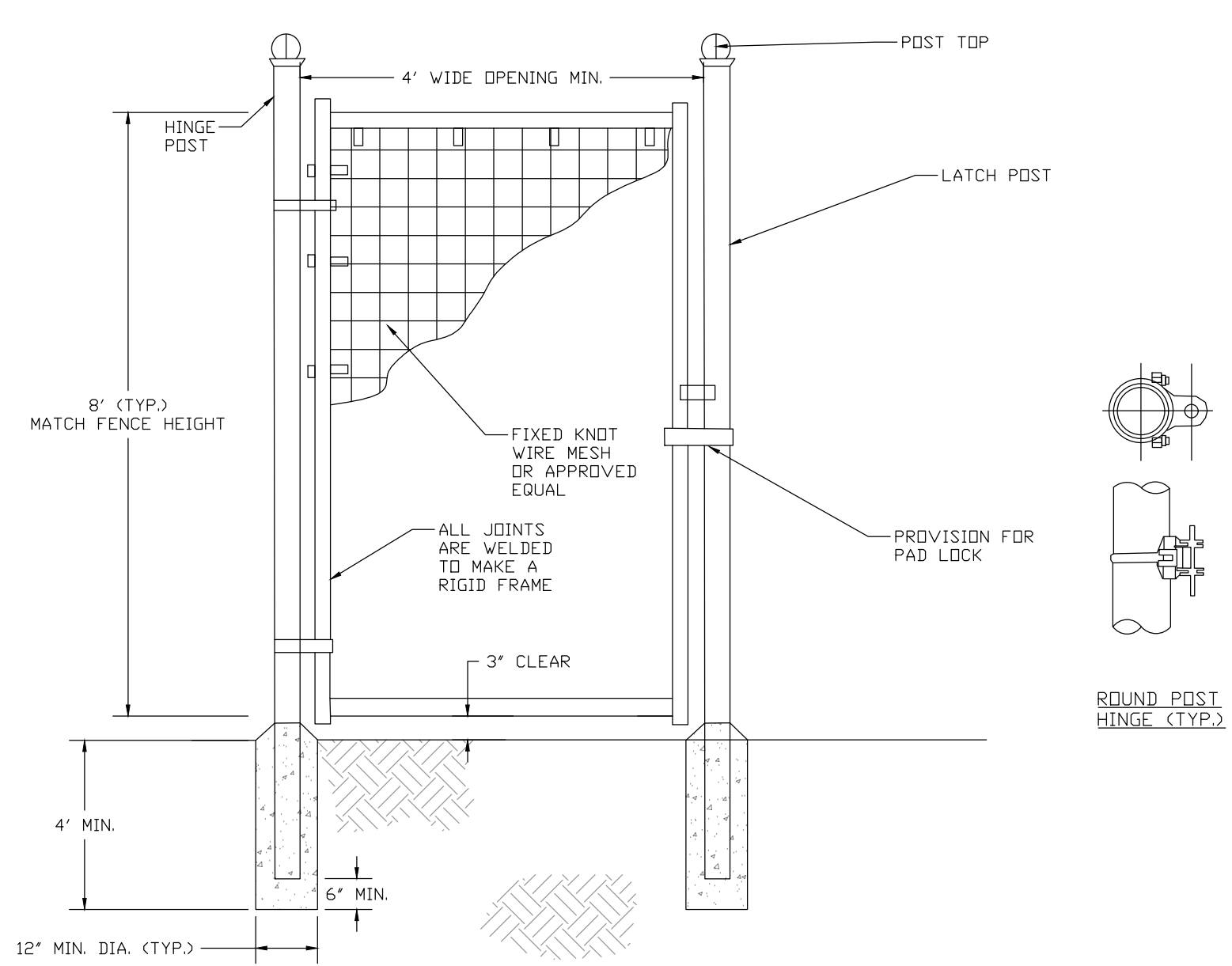


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Project:
ACCESS ROAD PROFILES
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 Drawn by: BMW

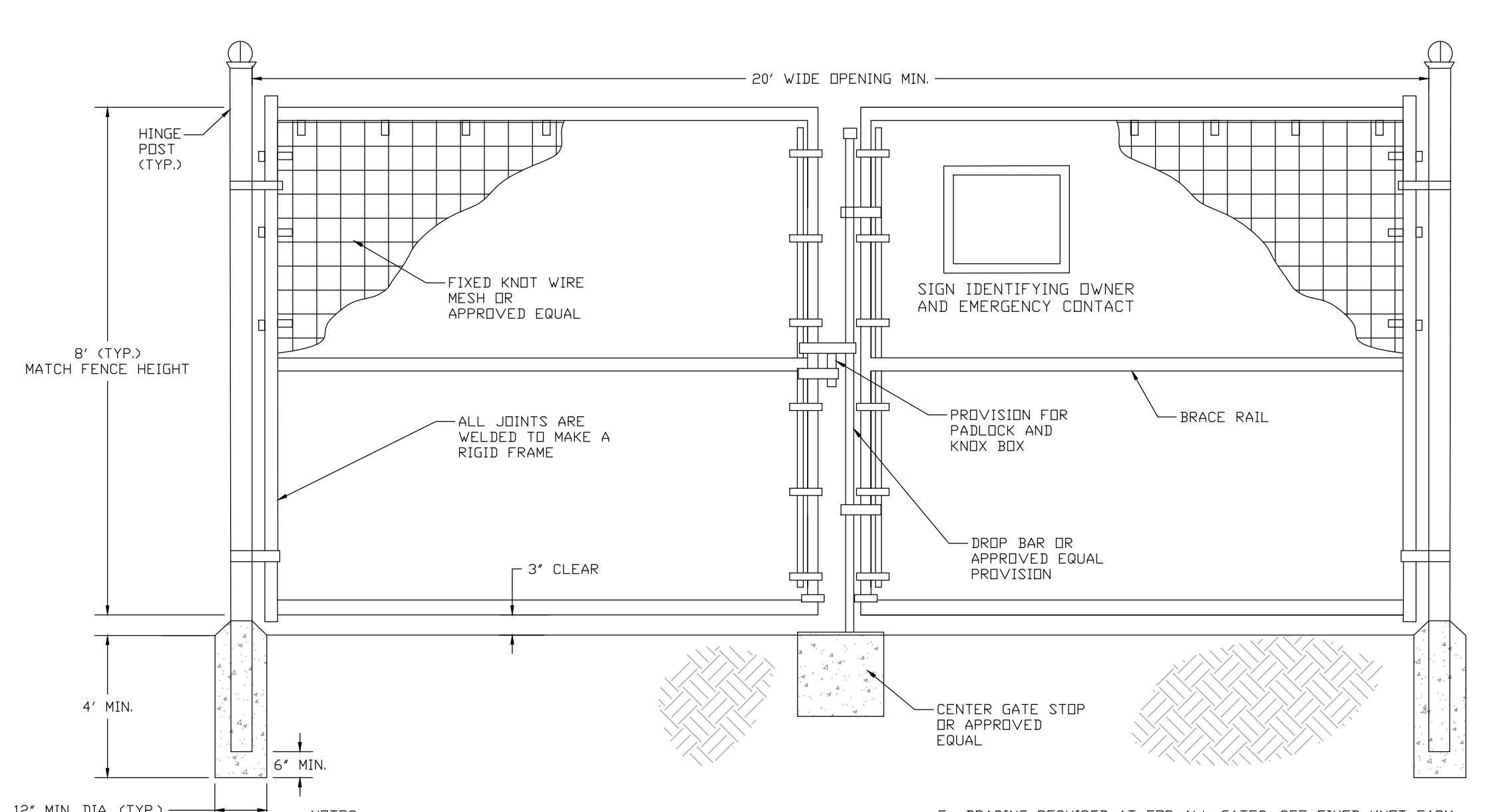
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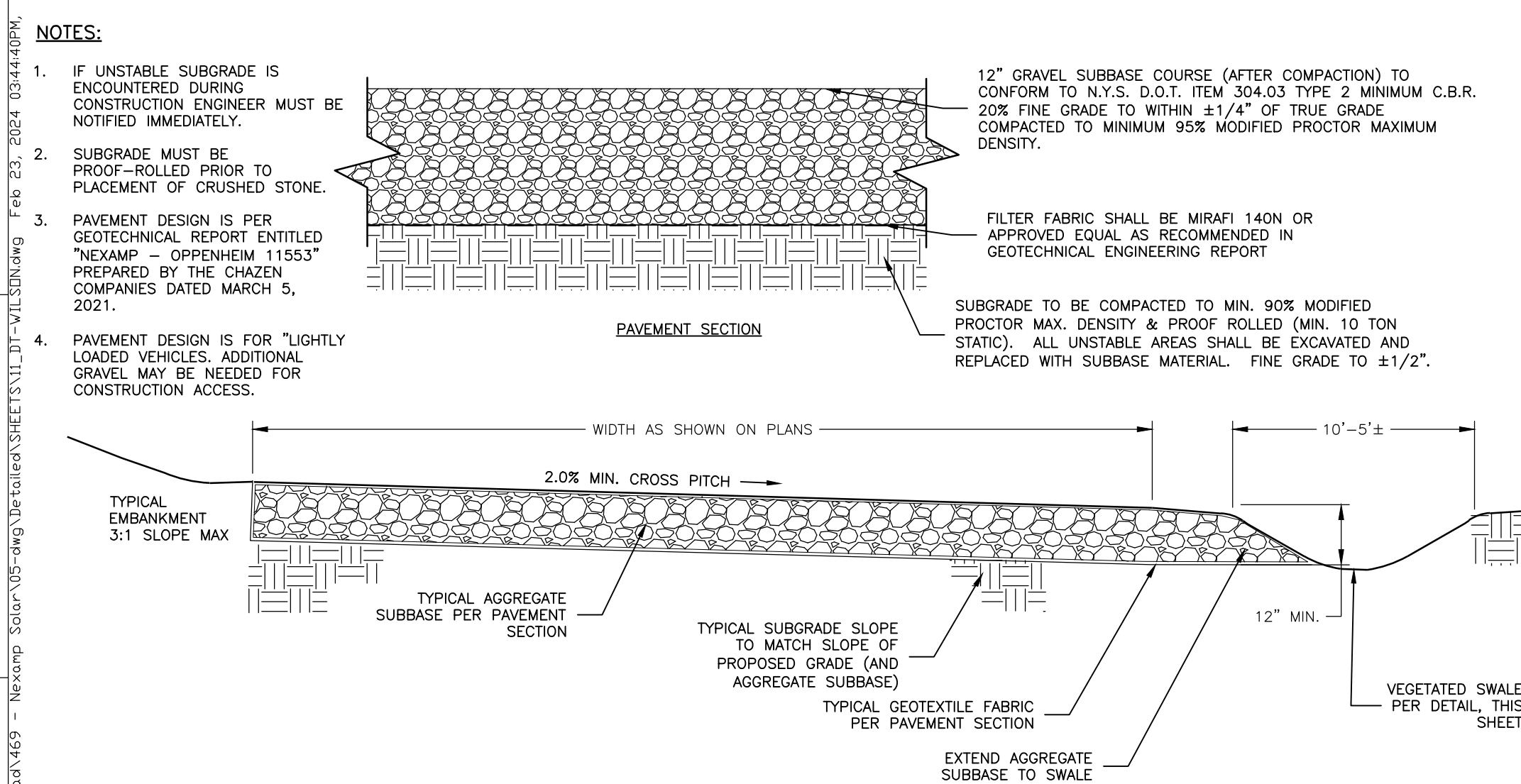
- NOTES:**
- INSTALL ALL FENCING COMPONENTS PER MANUFACTURER'S SPECIFICATIONS.
 - ALL FENCING AND HARDWARE SHALL BE GALVANIZED, UNLESS OTHERWISE NOTED.
 - HINGE POSTS MAY BE TIMBER IF CONTRACTOR DESIRES. TIMBER HINGE POSTS DO NOT NEED TO BE SET IN CONCRETE. UTILIZE HINGE THRU BOLTS TO CONNECT TO TIMBER HINGE POSTS OR LAG SCREWS, PER MANUFACTURER'S RECOMMENDATIONS.
 - IF CONTRACTOR UTILIZES METAL HINGE POST THAN POSTS SHALL BE SET IN CONCRETE AS SHOWN ON DETAIL.
 - BRACING REQUIRED AT FOR ALL GATES. SEE FIXED KNOT FARM FENCE DETAIL.
 - FIXED KNOT WIRE MESH TO BE BEKAERT SOLIDLOCK® PRD, 12.5 GAUGE, CLASS 3 GALVANIZED, 6" VERTICAL SPACING OR APPROVED EQUAL.
 - BRACE RAILS AND/ DR TRUSS RODS ARE NOT SHOWN, MAY BE REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.

1 FIXED KNOT FARM FENCE - PERSONNEL GATE
NOT TO SCALE

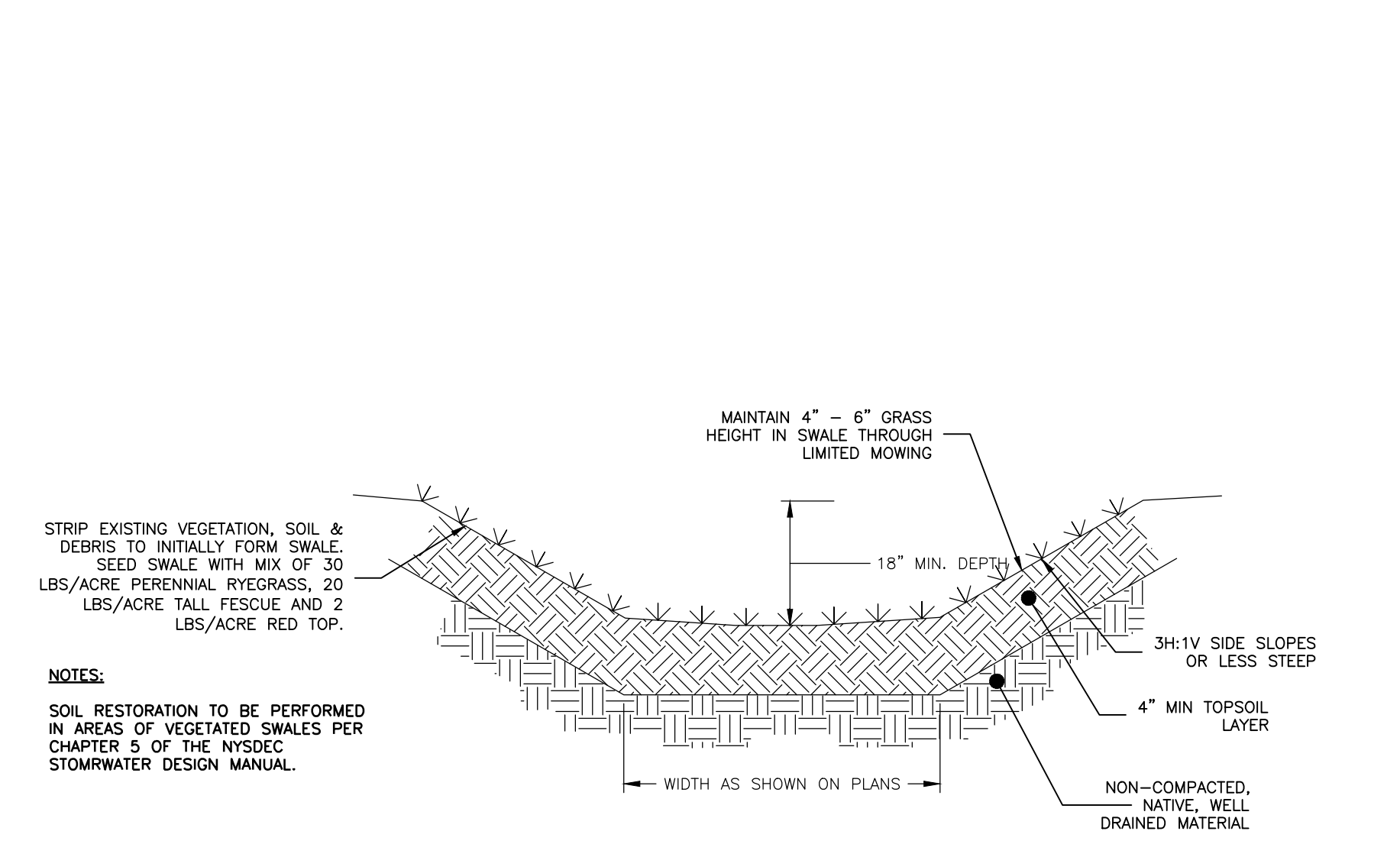


- NOTES:**
- INSTALL ALL FENCING COMPONENTS PER MANUFACTURER'S SPECIFICATIONS.
 - ALL FENCING AND HARDWARE SHALL BE GALVANIZED, UNLESS OTHERWISE NOTED.
 - HINGE POSTS MAY BE TIMBER IF CONTRACTOR DESIRES. TIMBER HINGE POSTS DO NOT NEED TO BE SET IN CONCRETE. UTILIZE HINGE THRU BOLTS TO CONNECT TO TIMBER HINGE POSTS OR LAG SCREWS, PER MANUFACTURER'S RECOMMENDATIONS.
 - IF CONTRACTOR UTILIZES METAL HINGE POST THAN POSTS SHALL BE SET IN CONCRETE AS SHOWN ON DETAIL.
 - BRACING REQUIRED AT FOR ALL GATES. SEE FIXED KNOT FARM FENCE DETAIL.
 - FIXED KNOT WIRE MESH TO BE BEKAERT SOLIDLOCK® PRD, 12.5 GAUGE, CLASS 3 GALVANIZED, 6" VERTICAL SPACING OR APPROVED EQUAL.
 - BRACE RAIL SHOWN FOR REFERENCE. ADDITIONAL BRACE RAILS MAY BE REQUIRED (NOT SHOWN) DR TRUSS RODS MAY BE REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.

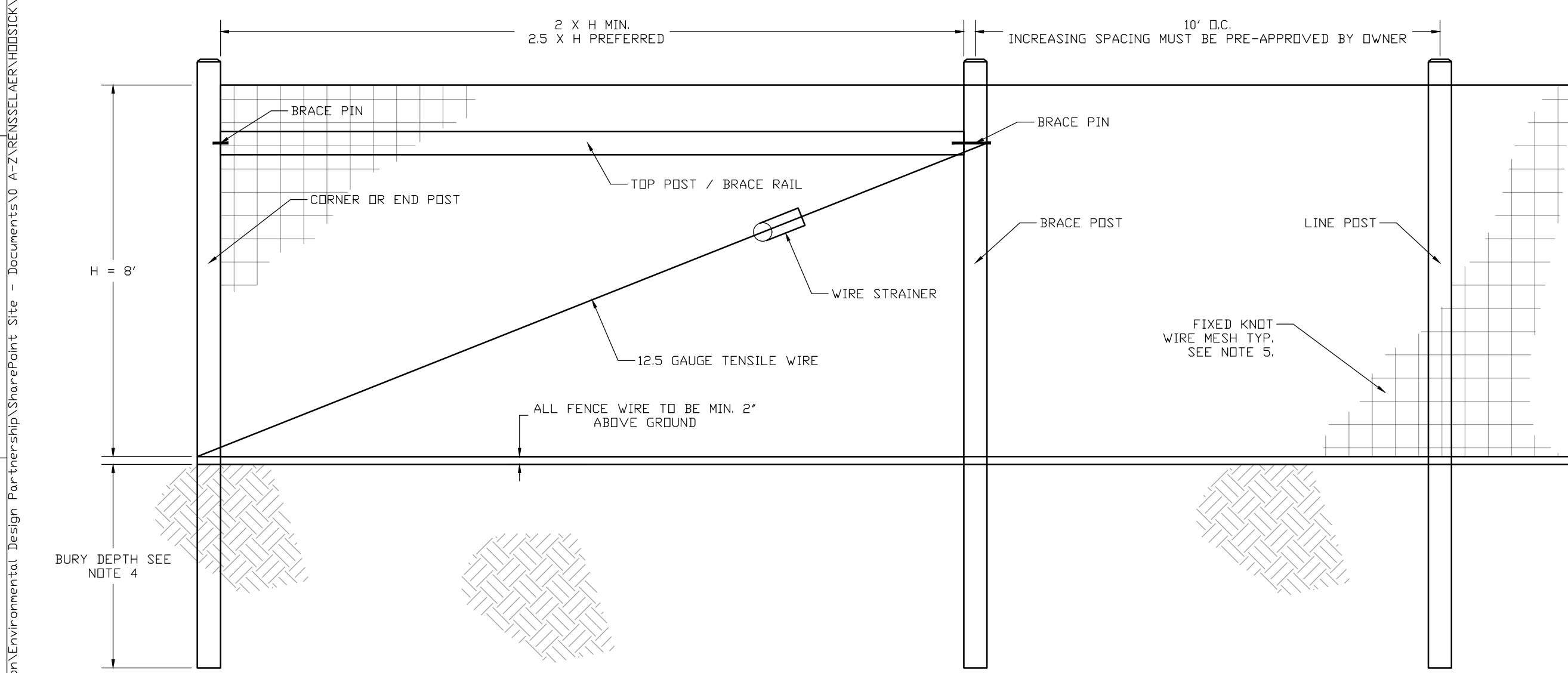
4 FIXED KNOT FARM FENCE - DOUBLE GATE
NOT TO SCALE



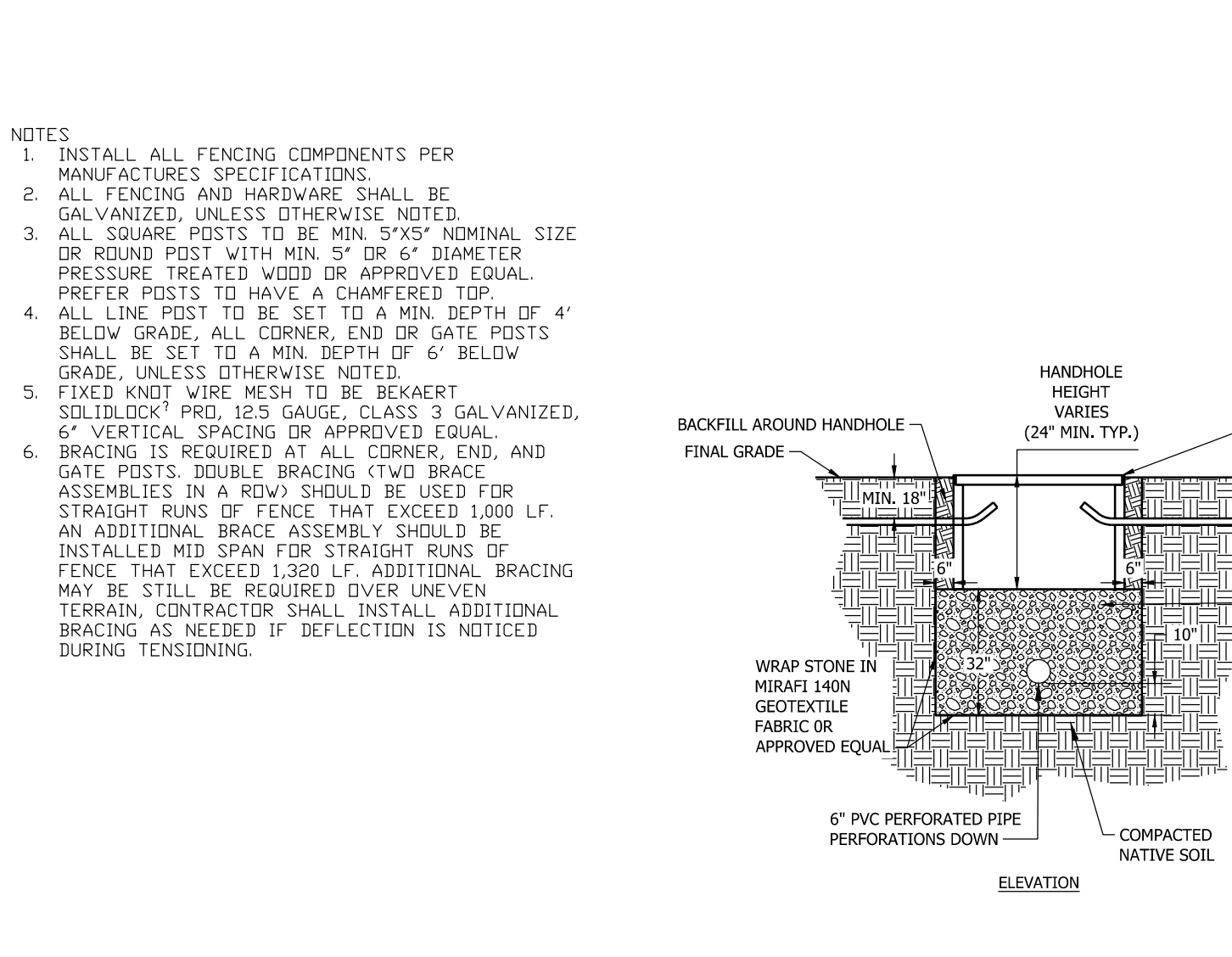
2 TEMPORARY AND PERMANENT GRAVEL ACCESS DRIVE SECTION
NOT TO SCALE



5 VEGETATED SWALE
NOT TO SCALE



3 FIXED KNOT FARM FENCE
NOT TO SCALE



6 DRAINAGE HANDHOLE
NOT TO SCALE

GENERAL NOTES:

THE ENVIRONMENTAL DESIGN PARTNERSHIP IS NOT RESPONSIBLE FOR ANY CONSTRUCTION WORK PERFORMED PRIOR TO FINAL APPROVAL OF ALL PLANS AND SECURING OF ALL PERMITS AND FILING OF ALL MAPS.

CONTRACTOR TO ARRANGE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL DESIGN PARTNERSHIP AND MUNICIPALITY PRIOR TO CONSTRUCTION.

FIELD ADJUSTMENTS MUST BE APPROVED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP AND THE MUNICIPALITY'S ENGINEER PRIOR TO CONSTRUCTION.

CONTRACTOR IS TO VERIFY THAT ALL NECESSARY WORK PERMITS AND EASEMENTS ARE IN PLACE PRIOR TO COMMENCEMENT OF WORK.

THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS AND TAKE ALL SPECIAL TEMPORARY AND PERMANENT PRECAUTIONS NECESSARY TO ENSURE A STABLE AND SECURE JOB.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY TOWN, COUNTY OR STATE HIGHWAY CUT PERMITS.

THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND EASEMENTS PRIOR TO CONSTRUCTION AND BECOME FAMILIAR WITH THE CONDITIONS OF EACH PERMIT.

THE CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS, AND DRIVEWAYS.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RIGHT-OF-WAY PROPERTY LINES PRIOR TO CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES SUCH AS GAS, POWER, TELEPHONE, CABLE TV, WATER, SEWER, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

AS PER NYS INDUSTRIAL CODE 53: CONTRACTOR TO CALL DIG SAFELY NEW YORK, INC. AT 1-800-992-7992 TO LOCATE BURIED CABLES AND/OR UNDERGROUND UTILITIES NO LESS THAN TWO OR MORE THAN TEN WORKING DAYS PRIOR TO DIGGING, DRILLING, EXCAVATING, DRIVING POSTS, ETC.

CONTRACTOR MUST VERIFY THE ACCEPTABILITY OF ALL CONSTRUCTION MATERIALS WITH MUNICIPALITY'S ENGINEER PRIOR TO ORDERING.

INSTALLATION AND MATERIAL SPECIFICATIONS FOR STORM SEWER SHALL CONFORM TO THE MUNICIPALITY'S STANDARD DETAILS AND REQUIREMENTS. INSTALLATION PROCEDURES AND MATERIALS MUST BE VERIFIED WITH MUNICIPALITY PRIOR TO CONSTRUCTION.

ANY EXISTING STORM SEWERS AND UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND FOR INFORMATION ONLY. THE CONTRACTOR SHALL HAVE THEIR EXACT LOCATION CHECKED AT THE SITE BEFORE CONSTRUCTION BEGINS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING PIPE INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES WHICH MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, GRADES, PIPE INVERTS AND ELEVATIONS AND REVIEW WITH CONSULTANT BEFORE CONSTRUCTION.

ALL EXCAVATION TO MEET OSHA AND NYS DOT SAFETY REGULATIONS AND STANDARDS.

THE CONTRACTOR SHALL FILL IN, AND RE-EXCAVATE, AS NECESSARY TO RESUME WORK. ANY EXCAVATIONS OR TRENCHES AT LOCATIONS AND AS OFTEN AS MAY BE REQUIRED TO ENSURE PROTECTION OF THE WORK, ANY ADJACENT EXISTING FACILITIES, OR THE PUBLIC.

THE CONTRACTOR SHALL CLEAN UP THE JOB SITE DAILY BEFORE LEAVING THE JOBSITE. ALL RUBBISH MUST BE CLEANED UP AND CONSTRUCTION EQUIPMENT MUST BE PROPERLY TAKEN CARE OF AND STORED AT THE END OF THE DAY.

CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND SAFETY DURING CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL FLAGMEN AND SIGNS, DELINEATORS, BARRIERS, AND DEVICES NECESSARY FOR TRAFFIC CONTROL DURING ANY EARTH-MOVING OPERATION OR OTHER CONSTRUCTION ACTIVITY WHICH INVOLVES PUBLIC HIGHWAYS.

ALL TRAFFIC SIGNS, CONTROL DEVICES AND INFORMATIONAL ITEMS, IF DISTURBED DURING CONSTRUCTION WITHIN CONTRACT LIMIT LINES, SHALL BE RELOCATED AS PER APPROVAL OF MUNICIPALITY.

RESTORATION OF PAVEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPLACE AND RESTORE PAVEMENT WITH MATERIAL TO A CONDITION EQUAL TO OR BETTER THAN PRECONSTRUCTION CONDITIONS. ALL

PAVEMENT AND RIGHT-OF-WAY RESTORATION WORK TO BE DONE TO THE SATISFACTION OF THE STATE, COUNTY OR LOCAL MUNICIPAL, HIGHWAY DEPARTMENT.

CONTRACTOR SHALL RESTORE ALL LAWNS, DRIVEWAYS, WALKS, WALLS, CURBS, FENCES, ETC. TO A CONDITIONS AT LEAST AS GOOD AS THEY WERE BEFORE BEING DISTURBED.

BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. SHRUBS AND HEDGES THAT MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED OR REPLACED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

POSTS, MAILBOXES, ETC. SHALL BE PROTECTED, OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

IT MAY BE NECESSARY TO TIE OR HOLD BACK UTILITY POLES DURING CONSTRUCTION. THIS SHOULD BE ACCOMPLISHED IN COOPERATION WITH UTILITY COMPANIES.

NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENTS OR R.O.W. AS SHOWN.

CONTRACTOR TO COMPLY WITH ALL OSHA AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION (PROPER SHORING, ETC.).

ALL SITE WORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. WHERE ACCESS OR WORK OUTSIDE OF PROPERTY BOUNDARY IS NECESSARY, THE PERMISSION OF ADJOINING PROPERTY OWNER MUST FIRST BE OBTAINED.

ALL AREAS OF THE SITE WHICH ARE DISTURBED AND NOT PAVED SHALL BE TOPSOILED AND SEEDED.

THE INFORMATION REPRESENTED WITHIN THESE DOCUMENTS DOES NOT IMPLY ANY CONTRACT WITH OR OBLIGATION FOR, PERFORMING ANY OR ALL TOWN, COUNTY, OR STATE REQUIRED INSPECTIONS DURING THE COURSE OF CONSTRUCTION OR PURSUANT TO OBTAINING CERTAIN TYPE OF OCCUPANCY. SUCH INSPECTION SERVICES, IF PERFORMED BY THIS OFFICE, SHALL BE ESTABLISHED BY SEPARATE CONTRACT.

IN THE EVENT THAT THE CONSTRUCTION TAKEOUT AND INSPECTION OF THE WORK IS NOT PERFORMED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP (EDP), EDP WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS, OMISSIONS, COSTS, EXPENSES OR LIABILITY OF WHATEVER KIND AND NATURE RESULTING FROM FIELD CHANGES AND/OR ERRORS WHICH EDP WOULD OTHERWISE HAVE HAD AN OPPORTUNITY TO CHECK AND CORRECT WERE THEY IN A POSITION TO CONTROL THE PROJECT THROUGH TAKEOUT AND INSPECTION.

CLAIMS MADE AGAINST CONSULTANT FOR SURVEY TAKEOUT ERRORS WILL BE HONORED ONLY IF CONSULTANT IS NOTIFIED FOR VERIFICATION OF THE ERROR IMMEDIATELY UPON DISCOVERY AND BEFORE ANY CONTROL STAKES ARE DISTURBED. IF, AFTER VERIFICATION, IT IS DETERMINED THAT NO TAKEOUT ERROR OCCURRED, THE CLIENT SHALL REIMBURSE THE CONSULTANT FOR ADDITIONAL EXPENSES INCURRED FOR SUCH VERIFICATION.

ALL ERRORS, OMISSIONS AND DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ENVIRONMENTAL DESIGN PARTNERSHIP IMMEDIATELY UPON DISCOVERY. OTHERWISE, THE ENVIRONMENTAL DESIGN PARTNERSHIP WILL ACCEPT NO RESPONSIBILITY.

INSPECTION SERVICES BY THE ENVIRONMENTAL DESIGN PARTNERSHIP ARE NOT SUPERVISORY. ACCORDINGLY, THE ENVIRONMENTAL DESIGN PARTNERSHIP CAN NEITHER GUARANTEE THE PERFORMANCE OF THE CONSTRUCTION CONTRACTS BY CONTRACTORS NOR ASSUME RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO FURNISH AND PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

SOLAR PANEL, EQUIPMENT PAD, AND MV UNDERGROUND CABLE LAYOUT WERE PROVIDED BY OTHERS.

SOLAR PANEL, EQUIPMENT PAD, AND MV UNDERGROUND CABLE DESIGN, INCLUDING, BUT NOT LIMITED TO, SUBGRADE SUITABILITY, PREPARATION, REQUIRED TRENCHING, AND BEDDING TO BE DESIGNED BY OTHERS.

DRAINAGE HANDHOLE DETAIL AND LOCATIONS PROVIDED BY OTHERS. CONTRACTOR TO COORDINATE DIRECTLY WITH NEXAMP PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION. CONTRACTOR TO CONFIRM LOCATIONS AND INVERT ELEVATIONS IN FIELD AND NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.

NEW YORK STATE DEPARTMENT OF AGRICULTURE AND MARKETS CONSTRUCTION REQUIREMENTS:

- CONSTRUCTION ACTIVITIES ON THIS SITE MUST COMPLY WITH THE NYS DEPARTMENT OF AGRICULTURE AND MARKETS (NYS/DA) PUBLISHED GUIDELINES FOR CONSTRUCTION MITIGATION FOR AGRICULTURAL LANDS LAST REVISED OCTOBER 18, 2019. THE FOLLOWING REPRESENTS ONLY A CONSOLIDATED SUMMARY OF THE GUIDELINES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE COMPLETE GUIDELINES AND COMPLY WITH THE APPLICABLE REQUIREMENTS DURING CONSTRUCTION.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL OBTAIN SOIL SAMPLES FROM AREAS TO BE DISTURBED (ONE (1) SET OF SOIL SAMPLES FOR EVERY 10 ACRES OF DISTURBANCE) AND SUBMITTED TO AN APPROVED LABORATORY FOR TESTING OF PH, PERCENT ORGANIC MATERIAL, CATION EXCHANGE CAPACITY, PHOSPHORUS / PHOSPHATE(P), AND POTASSIUM/POTASH(K). SOIL SAMPLING SHALL BE CONSISTENT WITH CORNELL UNIVERSITY'S SOIL TESTING GUIDELINES WITHIN REPRESENTATIVE AREAS OF THE PROPOSED DISTURBANCE. RESULTS SHALL BE SUBMITTED TO THE OWNER.
- STRIPPED TOPSOIL SHALL BE STOCKPILED FROM WORK AREAS AND KEPT SEPARATE FROM OTHER EXCAVATED MATERIAL UNTIL THE COMPLETION OF THE FACILITY. FOR FINAL RESTORATION, EXCESS TOPSOIL SHALL BE SPREAD EVENLY IN AGRICULTURAL AREAS WITHIN THE LIMIT OF DISTURBANCE OR AS NOTED ON THE PLANS. IN NO CASE SHALL THE SPREADING OF EXCESS TOPSOIL ALTER THE HYDROLOGY OF THE AREA.
- TOPSOIL STOCKPILES ON AGRICULTURAL AREAS LEFT IN PLACE PRIOR TO OCTOBER 31 SHALL BE SEEDING WITH ARROSTOOK WINTER RYE OR EQUIVALENT AT AN APPLICATION RATE OF THREE BUSHELS (168 LB) PER ACRE AND MULCHED WITH STRAW AT A RATE OF TWO TO THREE BALES PER 1000 SF.
- TOPSOIL STOCKPILES ON AGRICULTURAL AREAS LEFT IN PLACE BETWEEN OCTOBER 31 AND MAY 31 SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TO THREE BALES PER 1000 SF TO PREVENT SOIL LOSS.
- THE SURFACE OF ACCESS ROADS LOCATED OUTSIDE OF THE FENCED AREA AND CONSTRUCTED THROUGH AGRICULTURAL FIELDS SHALL BE LEVEL WITH THE ADJACENT FIELD SURFACE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL ENSURE THAT NO VEHICLES OR EQUIPMENT ARE ALLOWED OUTSIDE THE DESIGNED LIMIT OF DISTURBANCE. VEHICLE AND EQUIPMENT TRAFFIC, PARKING AND MATERIAL STORAGE SHALL BE LIMITED TO THE ACCESS ROADS AND/OR DESIGNATED WORK AREAS WITH THE EXCEPTION OF LOW GROUND PRESSURE EQUIPMENT.
- ALL BURIED UTILITIES LOCATED WITHIN THE FENCED AREA MUST HAVE A MINIMUM COVER DEPTH OF 18 INCHES IF LOCATED WITHIN CONDUIT AND 24 INCHES IF DIRECT BURIED.
- ALL BURIED UTILITIES LOCATED OUTSIDE OF THE FENCED AREA SHALL HAVE A MINIMUM COVER DEPTH OF 48 INCHES IF LOCATED WITHIN CROPLAND, HAYLAND OR IMPROVED PASTURE AREAS. IN AREAS WHERE THE DEPTH OF SOIL OVER BEDROCK IS LESS THAN 48 INCHES THE ELECTRICAL CONDUCTORS MUST BE BURIED BELOW THE SURFACE OF THE BEDROCK, IF FRABLE/FRIPPABLE OR AS NEAR AS POSSIBLE TO THE SURFACE OF THE BEDROCK. ALL BURIED UTILITIES LOCATED IN UNIMPROVED GRAZING AREAS OR ON LAND PERMANENTLY DEVOTED TO PASTURE SHALL HAVE A MINIMUM COVER DEPTH OF 36 INCHES. WHERE ELECTRICAL CONDUCTORS ARE BURIED DIRECTLY BELOW THE GENERATION FACILITY'S ACCESS ROAD OR IMMEDIATELY ADJACENT TO THE ACCESS ROAD THE MINIMUM DEPTH OF COVER MUST BE 24 INCHES.
- EXCESS STRIPPED TOPSOIL SHALL NOT BE UTILIZED FOR FILL WITHIN PROJECT AREAS.
- CONTRACTOR TO REPAIR ALL SURFACE OR SUBSURFACE DRAINAGE STRUCTURES DAMAGED DURING CONSTRUCTION.
- RESTORATION WORK ON AGRICULTURAL LAND SHALL BE COMPLETED DURING FAVORABLE (WORKABLE, RELATIVELY DRY) CONDITIONS AND NOT WHILE SOILS AREA IN A WET OR PLASTIC STATE OF CONSISTENCY.
- IN ALL CONTINUED USE AGRICULTURAL LAND WHERE THE TOPSOIL WAS STRIPPED SUBSOIL DECOMPACTION SHALL BE CONDUCTED PRIOR TO TOPSOIL REPLACEMENT TO A DEPTH OF 18 INCHES WITH A TRACTOR MOUNTED DEEP RIPPER OR HEAVY-DUTY CHISEL PLOW.
- CONTRACTOR SHALL SEED ALL AREAS FROM WHICH VEGETATION WAS REMOVED OR DESTROYED WITH THE SEED MIX SPECIFIED BY OWNER.

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Rev	Issued For	Date
A	PRELIM PLAN SET	5/22/2023
B	INTERNAL COMMENTS	6/10/2023
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G	REVISIONS PER TDC COMMENTS	1/29/2024
H	REVISIONS PER TDC COMMENTS	2/26/2024



WILSON HILL SOLAR

469 Wilson Hill Road
Hoosick Falls, NY 12090

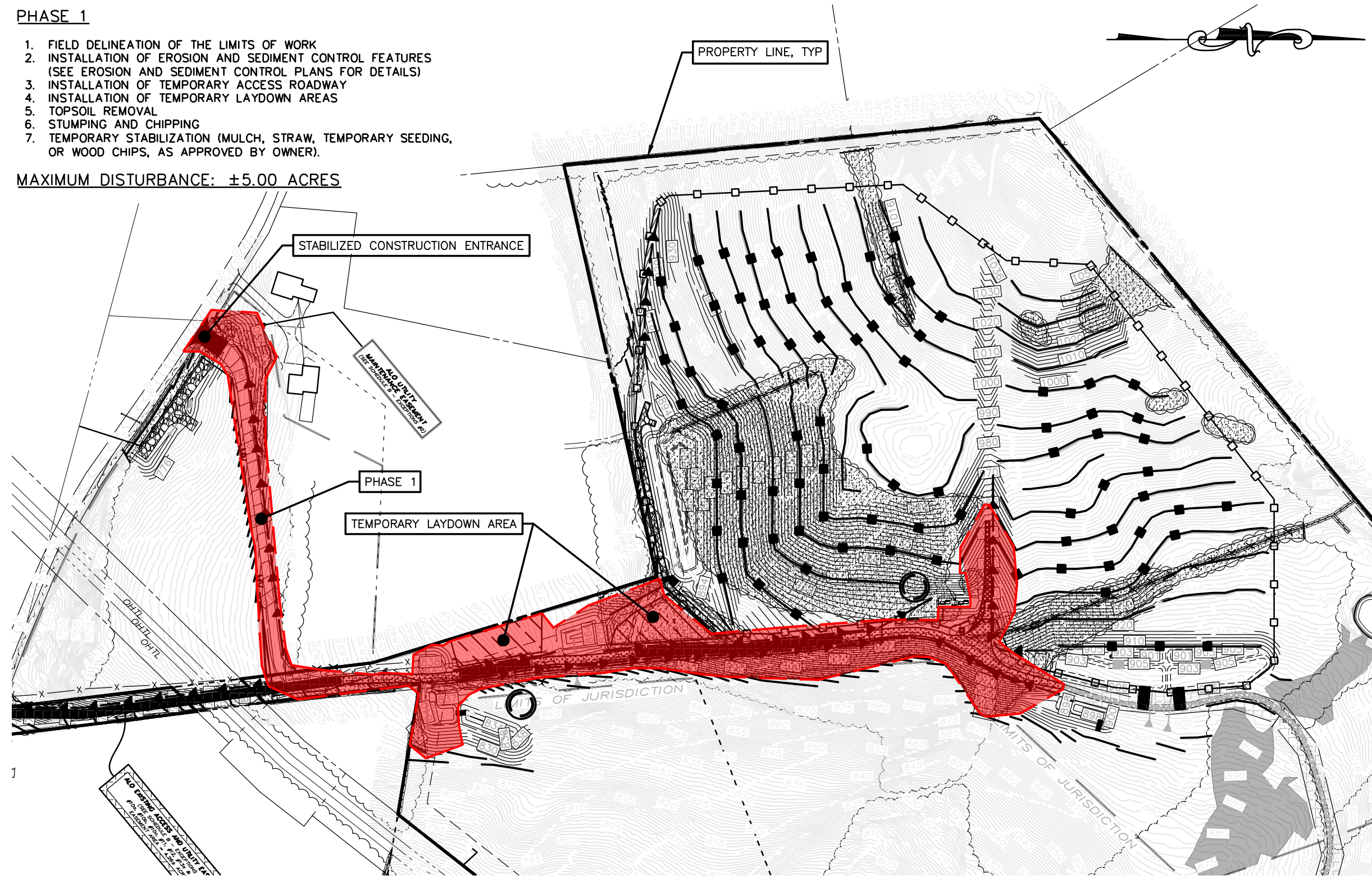
SITE DETAILS

NOT FOR CONSTRUCTION

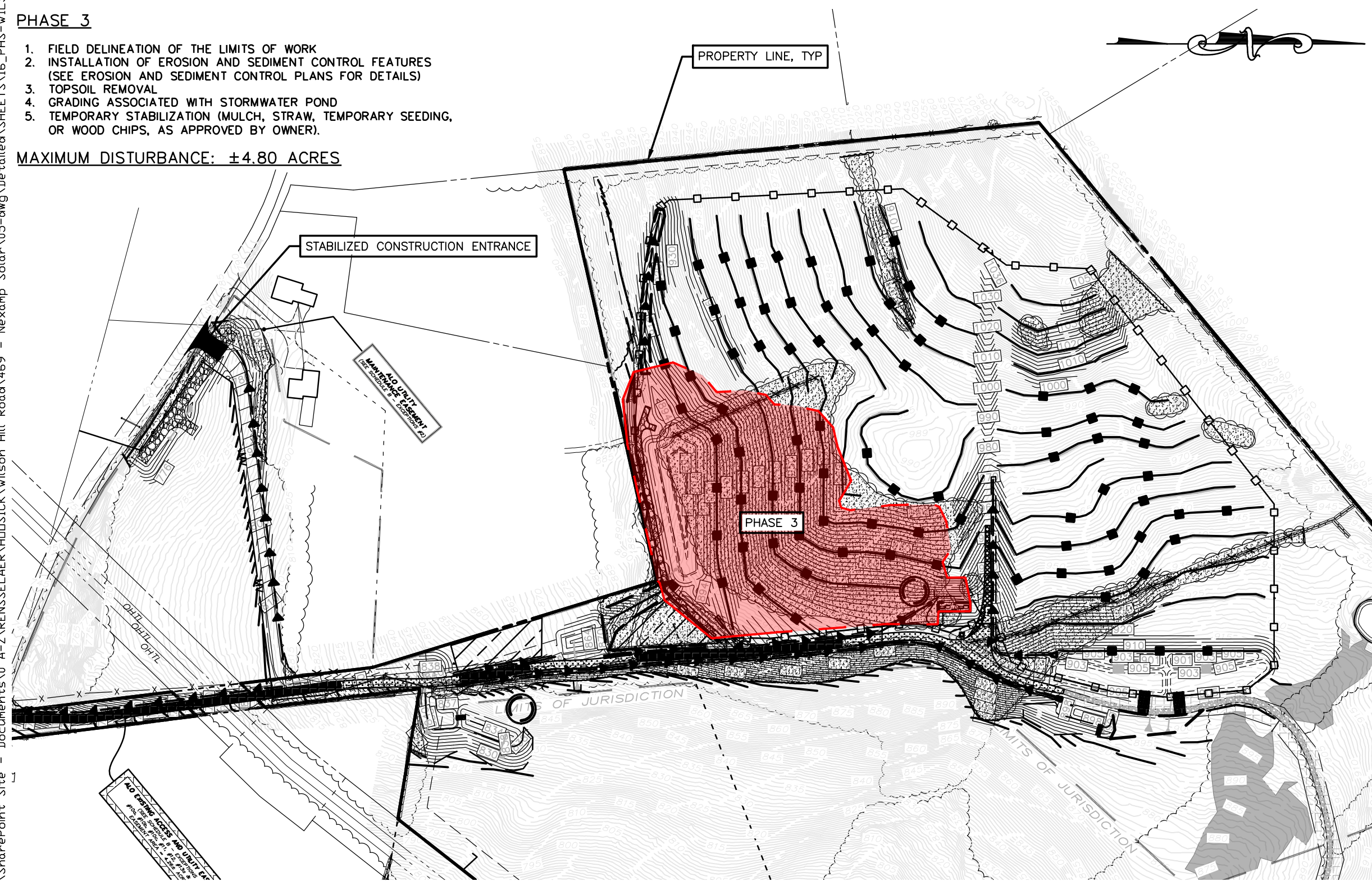
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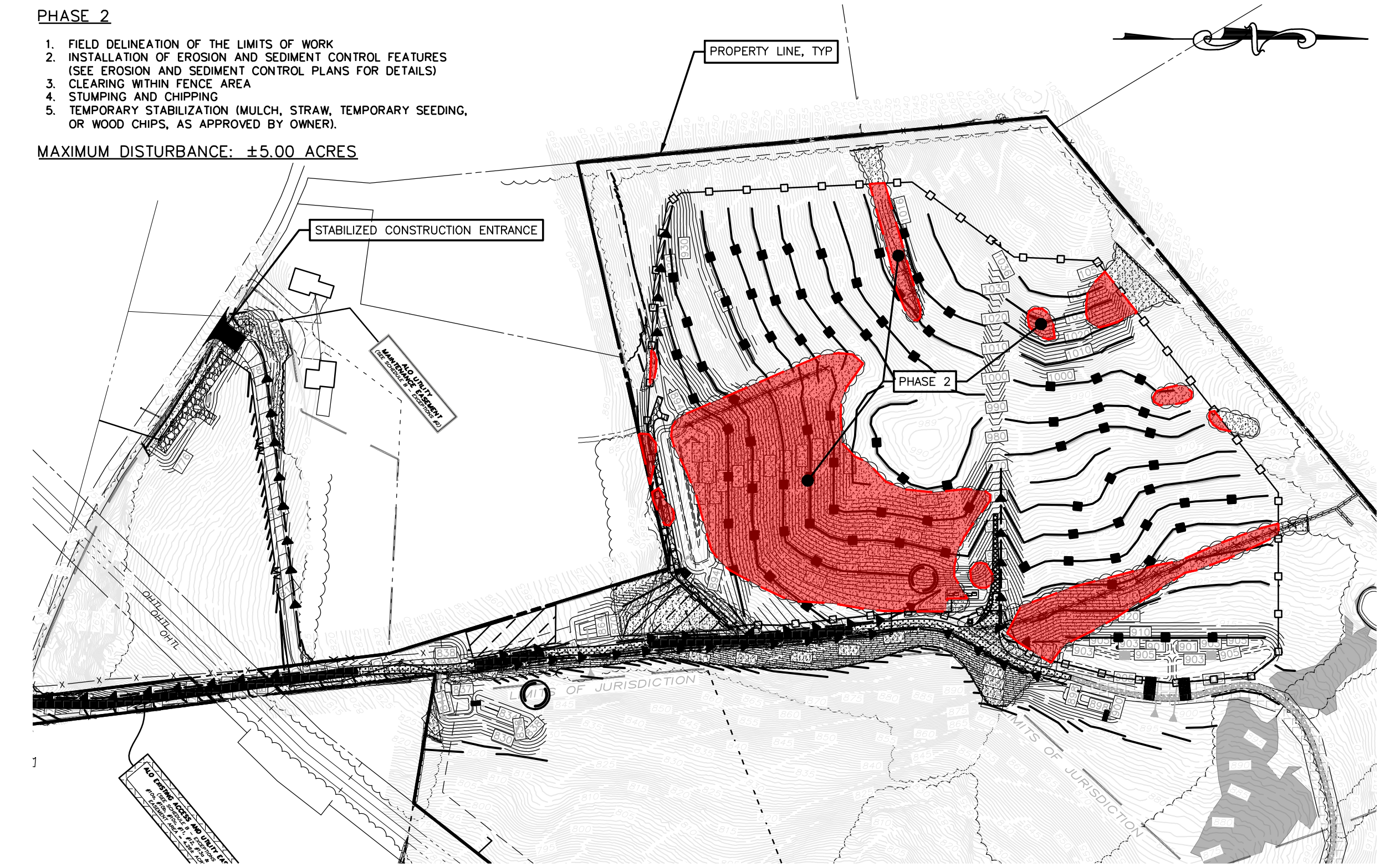
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PHASE 1 DISTURBANCE
SCALE: 1"=200'



PHASE 3 DISTURBANCE
SCALE: 1"=200'



PHASE 2 DISTURBANCE
SCALE: 1"=200'



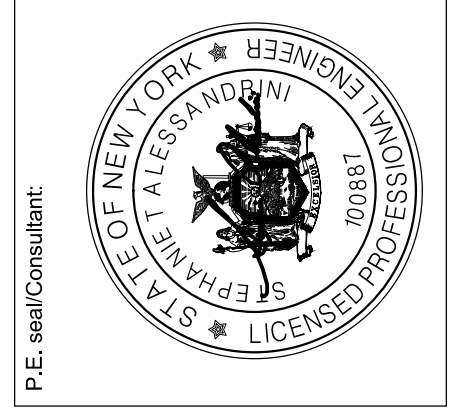
PHASE 4 DISTURBANCE
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Project: **WILSON HILL SOLAR**
469 Wilson Hill Road
Hoosick Falls, NY 12090

Drawing Title: **PHASING PLAN**
NOT FOR CONSTRUCTION
Scale: As Shown Approved by: STA
Drawn by: BMW

Dwg No: **C-700** Size: D Sheet Rev: **H**

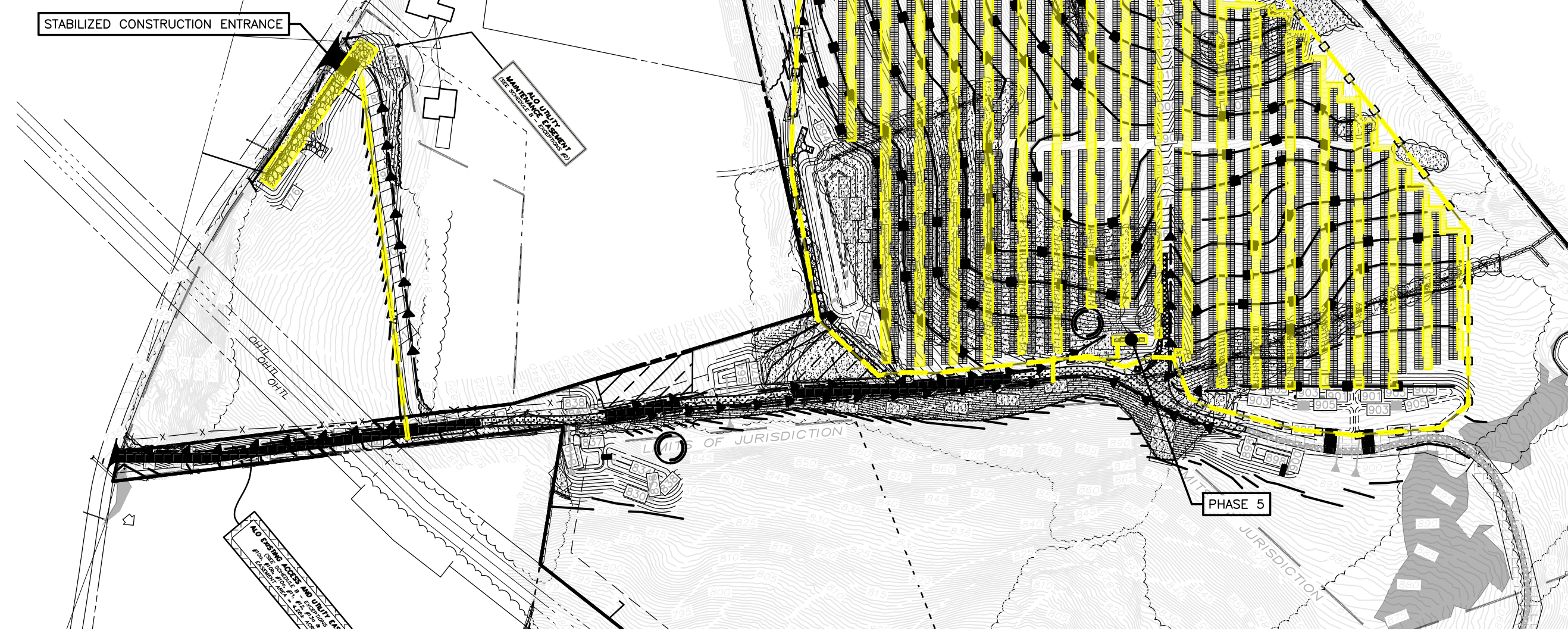
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- PHASE 5**
1. FIELD DELINEATION OF THE LIMITS OF WORK
 2. INSTALL EQUIPMENT PAD
 3. RACK INSTALLATION
 4. MODULE INSTALLATION
 5. ELECTRICAL UNDERGROUND MV INSTALLATION
 6. CONDUIT LAYOUT
 7. EQUIPMENT PAD INSTALLATION
 8. FENCE INSTALLATION
 9. POLE INSTALLATION ALONG WILSON HILL ROAD

- NOTES:**
1. SOIL DISTURBANCE SHALL BE LIMITED TO AREA BETWEEN PANELS.
 2. DISTURBANCE OUTSIDE LIMITS OF WORK SHOWN SHALL BE IMMEDIATELY STABILIZED.
 3. SOIL DISTURBANCE SHALL BE CONTINUOUSLY STABILIZED BETWEEN AND UNDER SOLAR PANELS AS WORK IS COMPLETED ON A PANEL.

MAXIMUM DISTURBANCE: ±4.90 ACRES

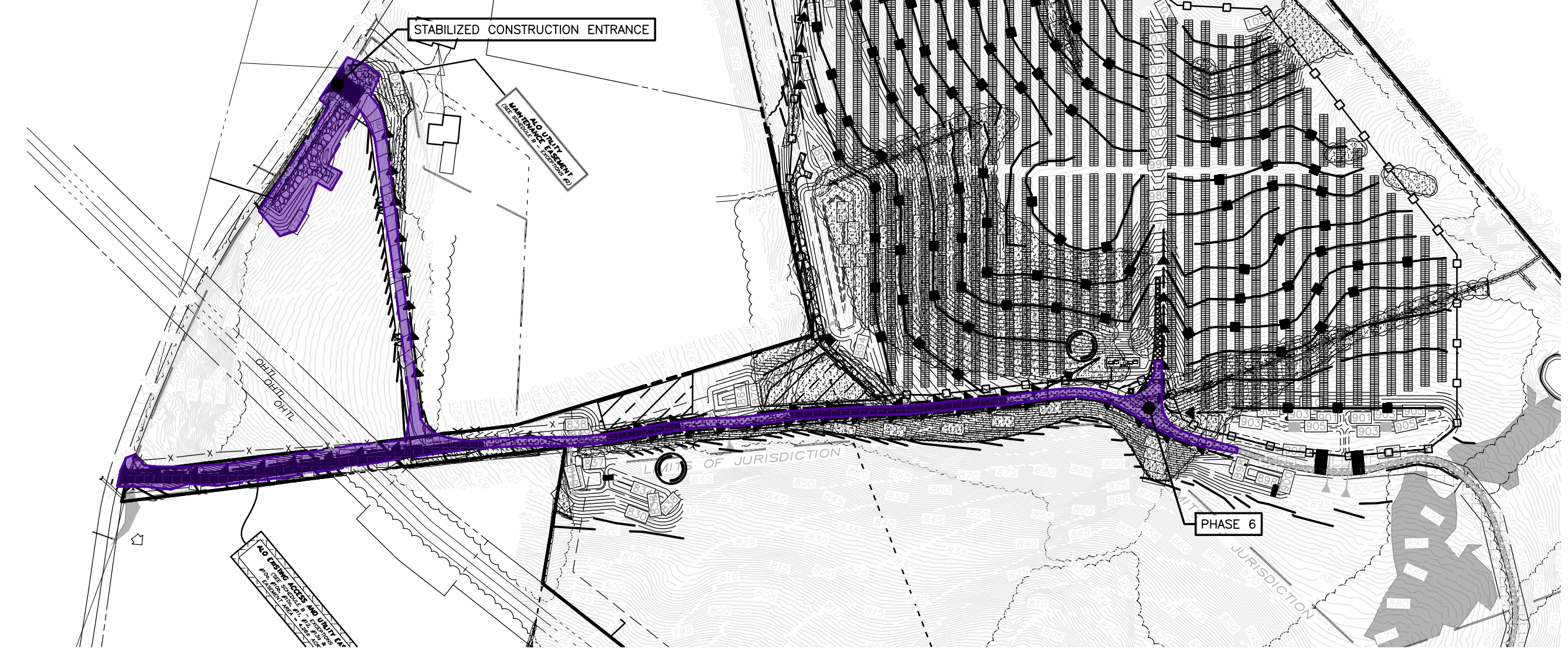


PHASE 5 DISTURBANCE

SCALE: 1"=200'

- PHASE 6**
1. FIELD DELINEATION OF THE LIMITS OF WORK
 2. FENCE, GATE, SIGNAGE INSTALLATION, ETC.
 3. WIRE MODULES
 4. WIRE MANAGEMENT
 5. DECOMPACTION, REGRADING, AND RELOAMING AREAS USED TEMPORARY ROAD, LAYDOWN, ETC., FOR DURING CONSTRUCTION
 6. SPREADING TOPSOIL
 7. INSTALLATION OF FINAL IMPERVIOUS ACCESS ROAD AND MAINTENANCE OF EXISTING ROAD (SEE SITE PLANS FOR LOCATION)
 8. FINAL SEEDING
 9. REMOVAL OF EROSION AND SEDIMENT CONTROL FEATURES ONCE >80% STABILIZATION HAS BEEN ACHIEVED.

MAXIMUM DISTURBANCE: ±2.50 ACRES



PHASE 6 DISTURBANCE

SCALE: 1"=200'

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WILSON HILL SOLAR
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PHASING PLAN
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Drawn by: BMW

Dwg No: C-701 H
Size: D
Sheet Rev: H

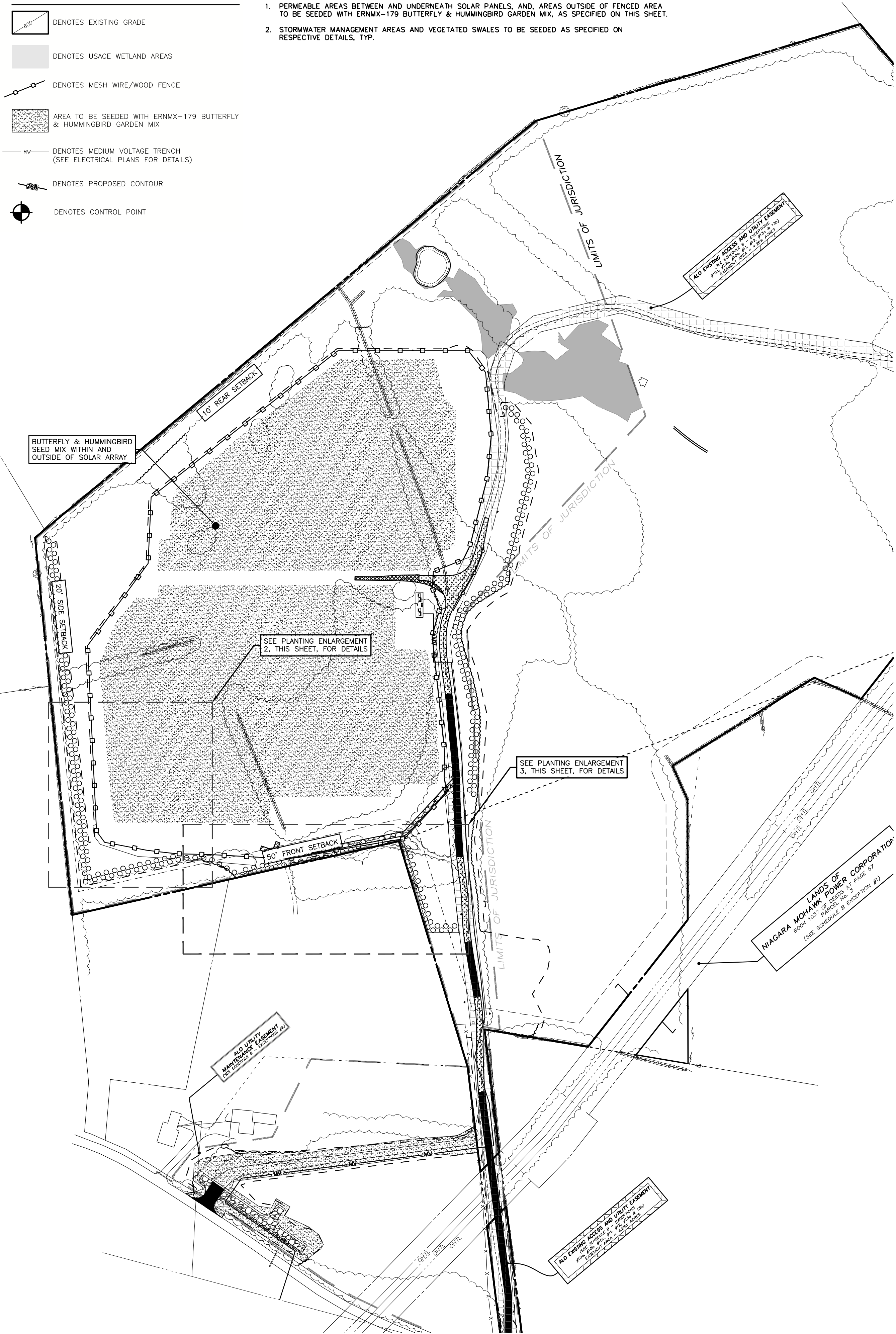
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PLANTING PLAN LEGEND

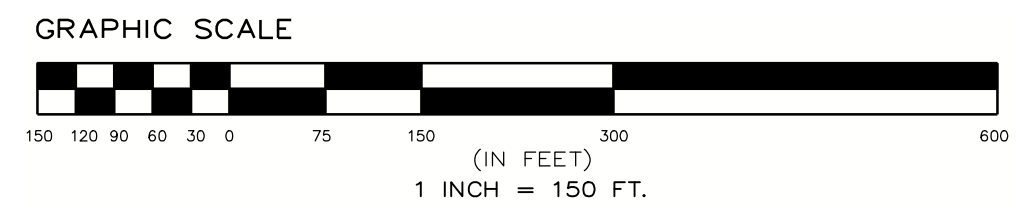
- DENOTES EXISTING GRADE
- DENOTES USACE WETLAND AREAS
- DENOTES MESH WIRE/WOOD FENCE
- AREA TO BE SEEDED WITH ERNMX-179 BUTTERFLY & HUMMINGBIRD GARDEN MIX
- DENOTES MEDIUM VOLTAGE TRENCH (SEE ELECTRICAL PLANS FOR DETAILS)
- DENOTES PROPOSED CONTOUR
- DENOTES CONTROL POINT

NOTES:

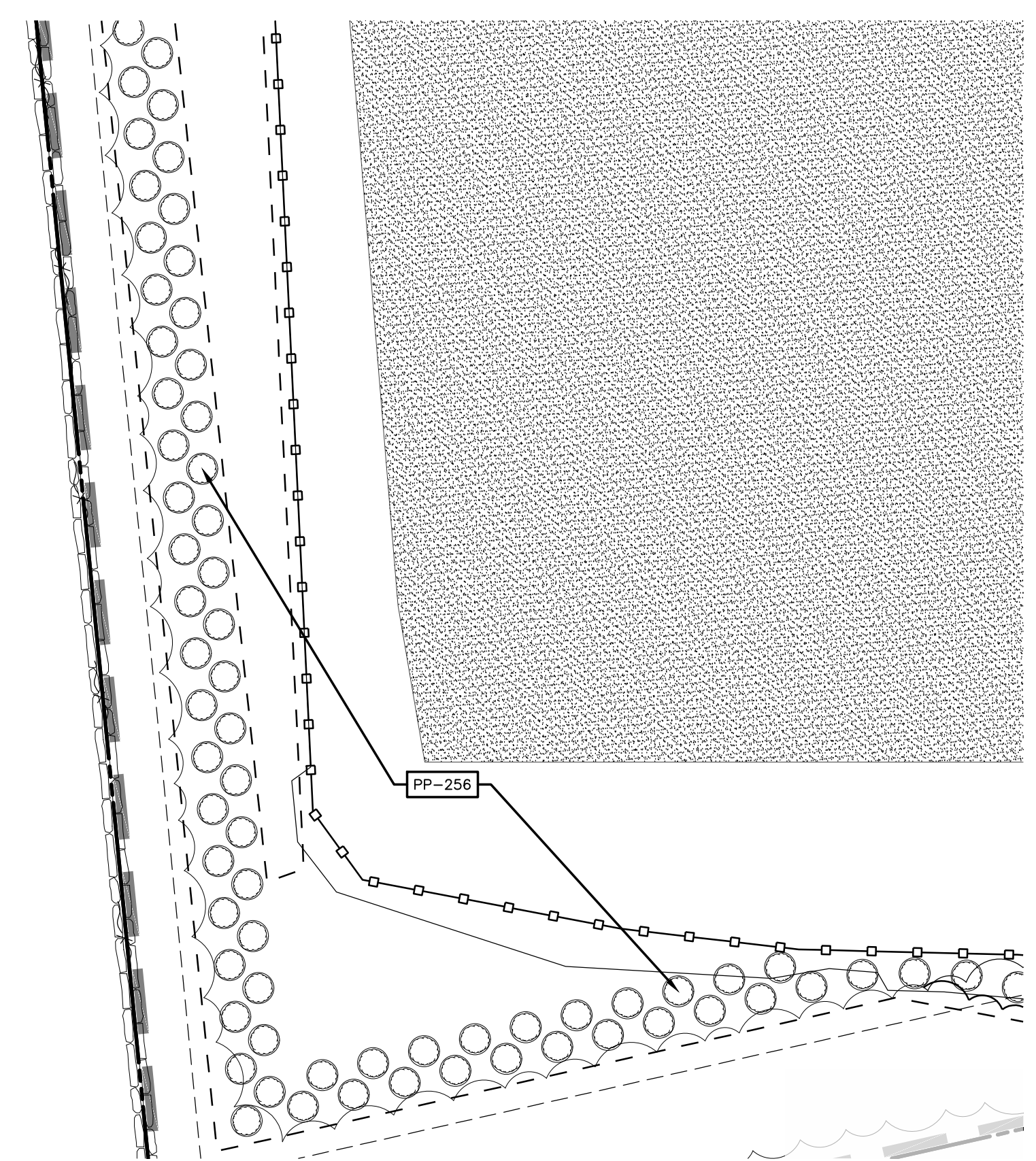
1. PERMEABLE AREAS BETWEEN AND UNDERNEATH SOLAR PANELS, AND, AREAS OUTSIDE OF FENCED AREA TO BE SEEDED WITH ERNMX-179 BUTTERFLY & HUMMINGBIRD GARDEN MIX, AS SPECIFIED ON THIS SHEET.
2. STORMWATER MANAGEMENT AREAS AND VEGETATED SWALES TO BE SEEDED AS SPECIFIED ON RESPECTIVE DETAILS, TYP.



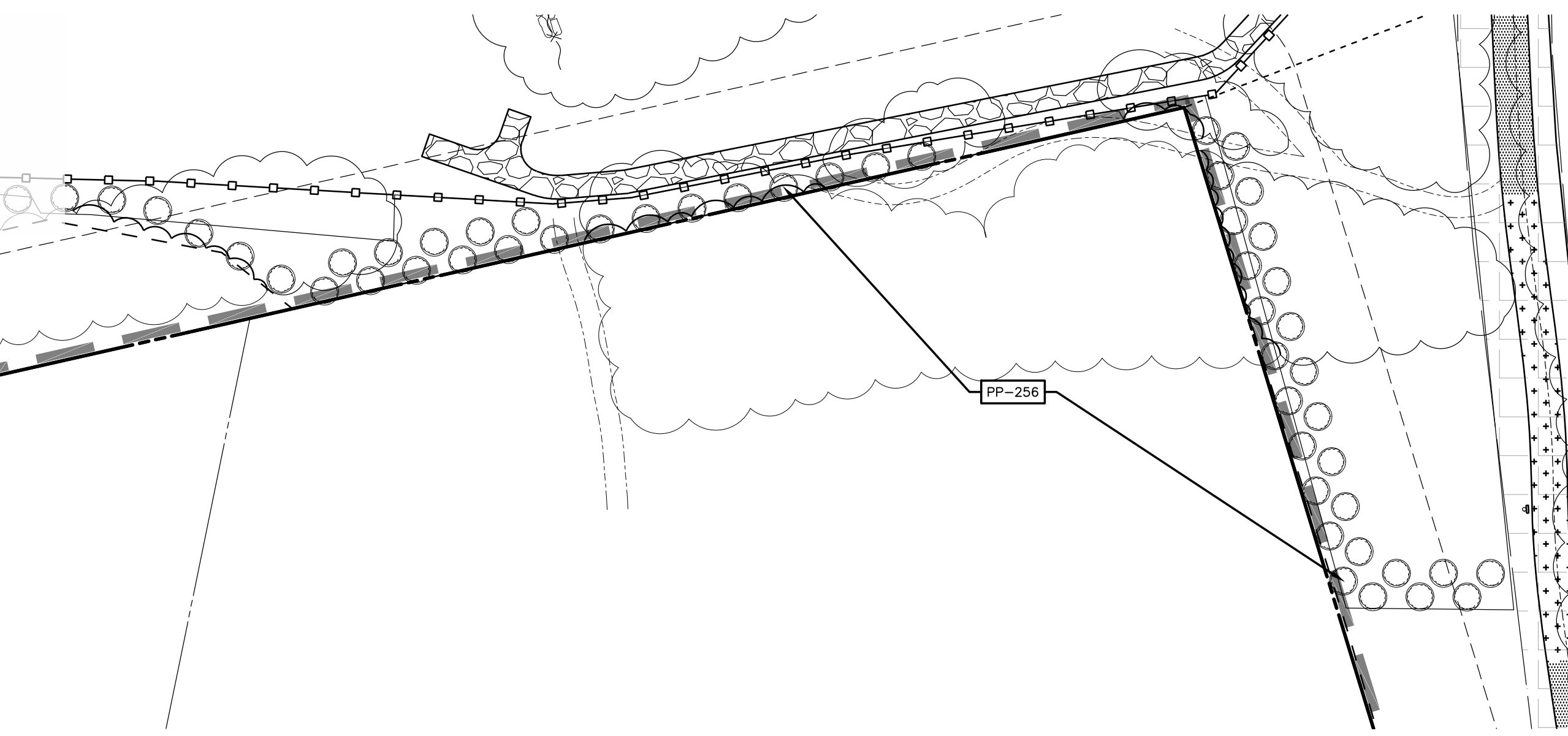
1 OVERALL PLANTING PLAN
L-100 SCALE: 1"=50'



2 PLANTING ENLARGEMENT
L-100 SCALE: 1"=50'



3 PLANTING ENLARGEMENT
L-100 SCALE: 1"=50'



ERNST SEEDS (ERNMX - 179)*			
QUANTITY	SPECIES	COMMON	APPLICATION RATE
29.6%	SCHIZACHYRIUM SCOPARIUM, FORT INDIANTOWN GAP - PA ECOTYPE	LITTLE BLUESTEM, FORT INDIANTOWN GAP-PA ECOTYPE	30 LB PER ACRE
10.0%	ELYMUS VIRGINICUS, PA ECOTYPE	VIRGINIA WILDRYE, PA ECOTYPE	
9.4%	ECHINACEA PURPUREA	PURPLE CONEFLOWER	
6.0%	DELPHINIUM AJACIS	ROCKET LARKSPUR	
6.0%	CENTAUREA CYANUS, TALL MIXED	BACHELOR'S BUTTON TALL MIXED/CORNFLOWER	
6.0%	COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	
6.0%	RUDBECKIA HIRTA	BLACKEYED SUSAN	
5.0%	DIANTHUS BARBATUS	SWEETWILLIAM	
4.0%	CHRYSANTHEMUM MAXIMUM	SHASTA DAISY	
2.2%	BAPTISIA AUSTRALIS, SOUTHERN WV ECOTYPE	BLUE FALS INDIGO, SOUTHERN WV ECOTYPE	
2.0%	LIATRIS SPICATA	MARSH BLAZING STAR	
1.4%	HELIOPSIS HELIANTHODES, PA ECOTYPE	OXEYE SUNFLOWER, PA ECOTYPE	
1.2%	ASCLEPIAS TUBEROSA, PA ECOTYPE	BUTTERFLY MILKWEED, PA ECOTYPE	
1.1%	PHYRANTHEMUM TENUIFOLIUM	NARROWLEAF MOUNTAINMINT	
1.0%	ASCLEPIAS INCARNATA, PA ECOTYPE	SWAMP MILKWEED, PA ECOTYPE	
1.0%	ERYNGIUM YUCCIFOLIUM, OH ECOTYPE	RATTLESNAKE MASTER, OH ECOTYPE	
1.0%	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA ORANGE POPPY	
1.0%	PAPAVER RHOEAS, RED	CORN POPPY, RED	
1.0%	RATIBIDA PINNATA, OH ECOTYPE	GREY HEADED CONEFLOWER, OH ECOTYPE	
0.8%	PENSTEMON DIGITALIS, PA ECOTYPE	TALL WHITE BEARDTONGUE, PA ECOTYPE	
0.7%	COREOPSIS TINCTORIA	PLANS COREOPSIS	
0.6%	ZIZIA AUREA, PA ECOTYPE	GOLDEN ALEXANDERS, PA ECOTYPE	
0.5%	ERAGROSTIS SPECTABILIS, RI ECOTYPE	PURPLE LOVEGRASS, RI ECOTYPE	
0.5%	MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE	WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE	
0.4%	SOLIDAGO NEMORALIS, PA ECOTYPE	GRAY GOLDENROD, PA ECOTYPE	
0.4%	TRADISCANTIA OHENSIS, PA ECOTYPE	OHIO SPIDERWORT, PA ECOTYPE	
0.3%	ASTER OBLONGIFOLIUS, PA ECOTYPE	AROMATIC ASTER, PA ECOTYPE	
0.2%	ASTER LAEVIS, NY ECOTYPE	SMOOTH BLUE ASTER, NY ECOTYPE	
0.2%	ASTER NOVAE-ANGLIAE, PA ECOTYPE	NEW ENGLAND ASTER, PA ECOTYPE	
0.2%	OENOTHERA FRUITICOSA VAR. FRUITICOSA	SUNDRIPS	
0.1%	ASTER PILOSUS, PA ECOTYPE	HEATH ASTER, PA ECOTYPE	
0.1%	SOLIDAGO BICOLOR, PA ECOTYPE	WHITE GOLDENROD, PA ECOTYPE	
0.1%	SOLIDAGO ODORA, PA ECOTYPE	LICORICE SCENTED GOLDENROD, PA ECOTYPE	

*AREAS OUTSIDE OF FENCE TO BE SEEDED WITH ERNMX - 179 OR OWNER APPROVED EQUAL AT A RATE OF 30 LB PER ACRE. BETWEEN DECEMBER 1ST THROUGH APRIL 1ST, EACH TYPE OF SEED SHALL HAVE AN ADDITIONAL 1 LB PER 1,000 SF OF WINTER RYEGRASS OR GRAIN RYE GRASS SEED INCLUDED

PLANTING SCHEDULE					
KEY	COMMON	BOTANICAL	SIZE	NO.	SPACING
PP	BABY BLUE SPRUCE	PICEA PUNGENS	6'-0" HT	254	15' O.C.**

*NO. DENOTES TOTAL NUMBER OF PROPOSED PLANTINGS FOR ENTIRE SITE PLAN
**UNLESS OTHERWISE NOTED

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P.E. seal/Consultant

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Hoosick Falls, NY 12090

PLANTING PLAN
NOT FOR CONSTRUCTION
Scale: As Shown Approved by: STA
Drawn by: BMW

Dwg No: **L-100** Size: D Sheet Rev: **H**